

SINGLE FAMILY DESIGN GUIDELINES

(Revised August 8, 1995)

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Custom Residential Development

- 1) Prior to submittal to any public agency for proposed custom home construction, ~~three (3)~~ ¹ set of plans shall be submitted to the LWDRC. The submittal shall include, but not be limited to the following:
 - a) A 1:20 scale landscape plan and plot plan indicating building footprint; driveway and/or alley placement; street tree and other landscaping species, size, location and details; and fence location and height.
 - b) Floor plans and elevations for all four sides, including elevations for detached garages and "granny" flats where applicable.
 - c) Exterior material sample board, showing exact materials and colors.
 - d) Full color rendering of front elevation streetscape.
 - e) Lots backing onto lake, visible from lake edge, parks, major streets, or with exposed side or rear yard conditions, shall have side and/or rear facade elevations as detailed and attractive as front elevations, with the LWDRC taking economics into account.
 - f) Plans must also show any other structures.
- 2) Within 21 working days of receipt of a complete submittal, the LWDRC shall approve, approve with modifications, or deny the site plan, and shall forward such decision to the applicant. Failure to approve is denial.
- 3) An initial fee of \$1,500.00 is required at the time of submittal. Up to \$1,000.00 of this amount may be returned if the home is built completely to plans, and if front yard and other visible landscaping is completed with 30 days of occupancy, unless the costs for review exceed \$500. In no event will less than \$500 be returned.

(small enough to fit in a legal size folder)

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INTRODUCTION

1. PURPOSE AND INTENT

The primary purpose of these guidelines is to create a development with characteristics similar to those of a traditional "town;" where streets are convenient and comfortable for walking; where parks can become a public focus for activity; and where the life and vitality of a small town can be re-discovered by its residents and visitors. The components of Laguna West: single-family residences, townhomes, multi-family apartments, neighborhood retail, offices, civic buildings, and recreational facilities are all the building blocks of standard suburban growth. The configuration of the elements in Laguna West and these guidelines are meant to enhance the feeling of community, user convenience and identity.

Variety in the architectural language is important to the character of Laguna West and is welcomed. The guidelines are not intended to limit the creativity of private development. They apply to all privately-owned lots, controlling those aspects of the building which directly affect the public realm.

Neither the Laguna West Homeowners Association (LWHA) nor the Laguna West Design Review Committee (LWDR) or its individual members shall be liable to any builder or owner or to any third party for any damages, loss or prejudice suffered or claimed on account of the approval or disapproval of any plans, drawings and specifications. It is specifically understood that plans and specifications are not approved for engineering design, and that by approving such plans and specifications, neither the LWHA, the LWDR, nor the members thereof assume any liability therefor, nor for any defect in any structure constructed from such plans and specifications.

Where conditions are not covered by the Guidelines, the LWDR shall base its decision on compliance with the intent of the Guidelines.

2. HOW TO USE THESE GUIDELINES

This book is divided into five sections which present the guidelines and illustrative designs of the residential areas within Laguna West -- Development Procedures, General Development Standards, Illustrative Designs, Landscaping, a Landscaping Appendix, and Signage. They should be used in conjunction with the *Sacramento County Zoning Code and Ordinances*, and the *Laguna West Special Development Permit*.

SECTION 1: DEVELOPMENT PROCEDURES

1. REVIEW PROCEDURE

A. Production Residential Development

- 1) Prior to submittal to any public agency for proposed production home construction, three (3) sets of plans shall be submitted to the LWDRC. The submittal shall include, but not be limited to the following:
 - a) A detailed 1:40 scale plot plan showing building footprint, driveway and/or alley placement, street trees, fence locations and heights, and adjacent street(s) for each production phase. Model and elevation must be specified.
 - b) Floor plans and elevations for all four sides, including elevations for detached garages and "granny" flats where applicable.
 - c) Exterior material sample board, showing exact materials and colors.
 - d) For every 150 homes or less, four (4) models with at least three (3) elevations each will be required. Beyond 150 homes, the LWDRC may require additional plans and elevations. For fewer than 100 homes, the LWDRC may reduce the requirement to three (3) models with three (3) elevations each.
 - e) A 1:20 scale landscape plan indicating street tree species, size, location and planting and fencing details.
 - f) Full colored architectural rendering of front elevation streetscape for all models.
 - g) Lots backing onto lake, visible from lake edge, parks, major streets, or with exposed side or rear yard conditions shall have side and/or rear facade elevations as detailed and attractive as front elevations, with the LWDRC taking economics into account.
 - h) Plans must also show any other structures.
- 2) Within 21 working days of receipt of a complete submittal, the LWDRC shall approve, approve with modifications or deny the site plan, and shall forward such decision to the applicant. Failure to approve is denial.
- 3) An initial fee of \$2,500.00 per production village, not to exceed 150 units, is required at the time of submittal. Upon review of the submittal, additional fees may be required to cover expenses incurred by the LWDRC, up to a total of \$5,000.

B. Custom Residential Development

- 1) Prior to submittal to any public agency for proposed custom home construction, three (3) sets of plans shall be submitted to the LWDRC. The submittal shall include, but not be limited to the following:
 - a) A 1:20 scale landscape plan and plot plan indicating building footprint; driveway and/or alley placement; street tree and other landscaping species, size, location and details; and fence location and height.
 - b) Floor plans and elevations for all four sides, including elevations for detached garages and "granny" flats where applicable.
 - c) Exterior material sample board, showing exact materials and colors.
 - d) Full color rendering of front elevation streetscape.
 - e) Lots backing onto lake, visible from lake edge, parks, major streets, or with exposed side or rear yard conditions, shall have side and/or rear facade elevations as detailed and attractive as front elevations, with the LWDRC taking economics into account.
 - f) Plans must also show any other structures.
- 2) Within 21 working days of receipt of a complete submittal, the LWDRC shall approve, approve with modifications, or deny the site plan, and shall forward such decision to the applicant. Failure to approve is denial.
- 3) An initial fee of \$1,500.00 is required at the time of submittal. Up to \$1,000.00 of this amount may be returned if the home is built completely to plans, and if front yard and other visible landscaping is completed with 90 days of completion certificate, unless the costs for review exceed \$500. In no event will less than \$500 be returned.

2. DESIGN REVIEW COMMITTEE

The five (5)-member Laguna West Design Review Committee (LWDRC) will consist of members pursuant to the terms of the Master Declaration of Covenants, Conditions and Restrictions, and Reservation of Easements for Laguna West.

SECTION 2:
SINGLE-FAMILY
GENERAL DEVELOPMENT STANDARDS

1. RD-7 BUILDING SETBACKS

The goal in setting strict standards for the building setbacks is to create a comfortable street edge for the pedestrian and to reduce the visual impact of the garage and car. In all cases, the porch or entry feature will bring the "social" part of the dwelling closer to the sidewalk and naturally recess the garage. The porch and entry will be allowed to within 12'-6" of the front property line (~~from back of walk~~) or, in the case of split sidewalk, from back of walk, with a maximum front yard setback of 15'-0". (In the case of a split sidewalk condition, the LWDRC may reduce the minimum setback by 4'-0" from back of walk to the extent consistent with the public utility easement.) The purpose of a maximum setback is to maintain the consistency of the built edge of the street. The garage must be at least 2'-0" behind the building line.

Wherever an alley exists and is utilized, the LWDRC may waive the minimum front setback to allow utility.

For lots of less than 50'-0" in width, the following shall apply:

Three (3) model homes:

- A minimum of one (1) model home will have the side drive option.
- A minimum of one (1) model home shall have the garage at least five feet (5'-0") behind the front of the main building facade.
- A maximum of one (1) model home may have the garage no more than two feet (2'-0") in front of the main building facade and will require a front porch with a minimum clear depth of six feet (6'-0"). Such porch shall extend a minimum of four feet (4'-0") in front of the garage facade.

Four (4) model homes:

- A minimum of one (1) model home will have the side drive option.
- A minimum of one (1) model home may have the garage at least 2'-0" behind the front of the main building facade.
- A maximum of two (2) model homes may have the garage no more than four feet (4'-0") in front of the main building facade and will require a front porch with a minimum clear depth of five feet (5'-0"). Such porch shall extend a minimum of two feet (2'-0") in front of the garage facade.

2. RD-5 BUILDING SETBACKS

The goal in setting strict standards for the building setbacks is to create a comfortable street edge for the pedestrian and to reduce the visual impact of the garage and car. In all cases, the porch or entry feature will bring the "social" part of the dwelling closer to the sidewalk and naturally recess the garage. The porch and entry will be allowed to within 12'-6" of the front property line (~~from back of walk~~) or, in the case of split sidewalk, from back of walk, with a maximum front yard setback of 15'-0" (the LWDRC may reduce the minimum setback by 4'-0" from back of walk to the extent consistent with the public utility easement. Whenever an alley exists and is utilized, the LWDRC may waive the minimum front setback to allow utility. The purpose of a maximum setback is to maintain the consistency of the built edge of the street. The garage must be at least 5'-0" behind the building line. See Figures 1 and 2.

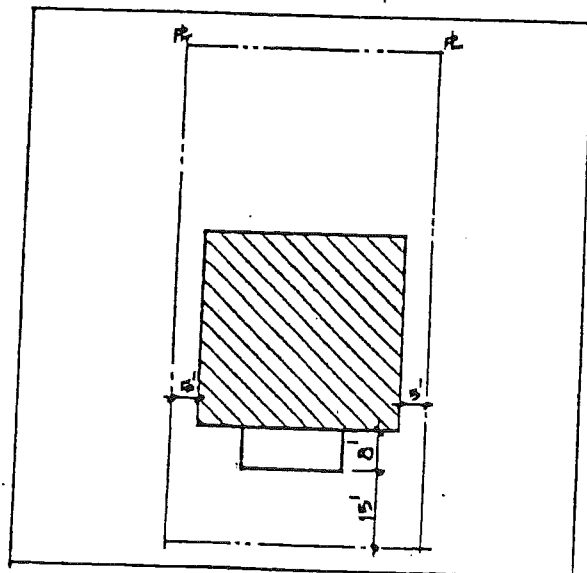
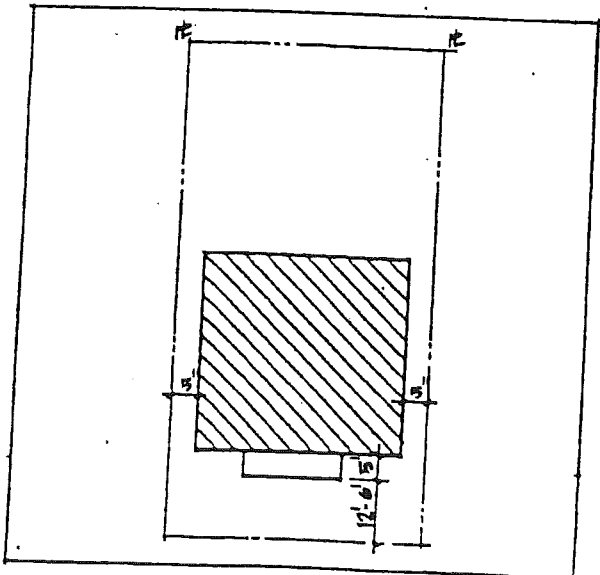
The LWDRC has established a minimum requirement that 50 percent of production homes shall feature the side drive option, consistent with the intent of the Guidelines.

Porch/Entry	12'-6" minimum without split sidewalk; (8'-6" minimum with split sidewalk)	15'-0" maximum
Building	17'-6" minimum without split sidewalk; (12'-6" minimum with split sidewalk)	23'-0" maximum
Side Yard	5'-0" or 0' at detached garages (zero-lot line configurations are allowed on the RD-7 side drive).	
Rear Yard	20'-0" minimum at lots backing onto lake or promenade (garage or main building not allowed in this setback)	

It is acknowledged that deeper porch and front yard setbacks may be required for cul-de-sac lots.

Figures 1: Setback (shows minimums)

Figure 2: Setback (shows maximums)



3. RD-4 BUILDING SETBACKS

In RD-4 zones, the porch and entry will be allowed to within 15'-0" of the front property line or, in the case of split sidewalk, from the back of walk, with a maximum front yard setback of 20'-0" (the LWDRC may reduce the minimum setback by 4'-0" from back of walk to the extent consistent with the public utility easement. The purpose of a maximum setback is to maintain the consistency of the built edge of the street. The garage must be at least 5'-0" behind the building line. See Figures 3 and 4.

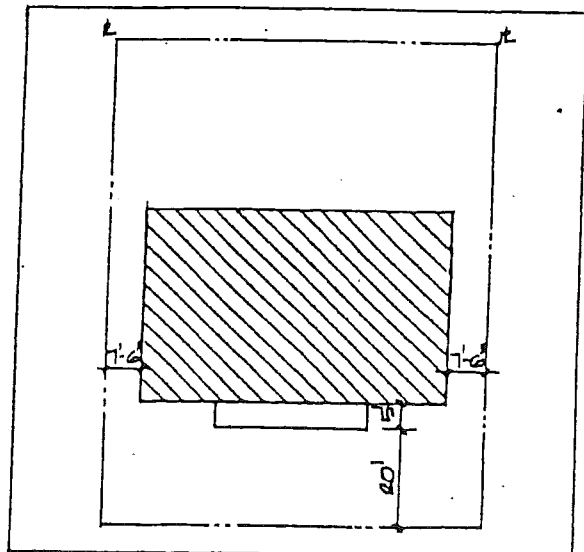
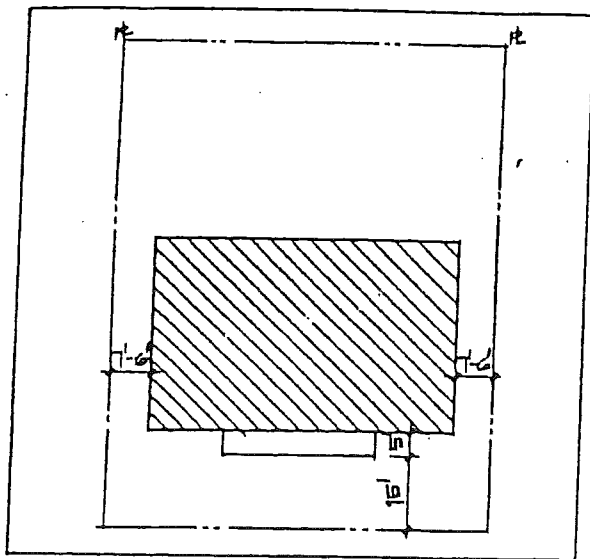
Porch/Entry	without split sidewalk: with split sidewalk:	15'-0" minimum; 20'-0" maximum. 11'-0" minimum.
Building	without split sidewalk: with split sidewalk:	20'-0" minimum; 25'-0" maximum. 16'-0" minimum.
Side Yard	7'-6" for 2-story homes; 5'-0" for 1-story homes; or 0' at detached garages	
Rear Yard	20'-0" minimum at lots backing onto promenade; 30'-0" minimum is the preferred standard from the bulkhead (garage or main building not allowed in this setback).	

The LWDRC may require an additional 5'-0" front setback for homes along the lakeside drive, wherever feasible. Wherever an alley exists and is utilized, the LWDRC may waive the minimum front setback to allow utility.

It is acknowledged that deeper porch and front yard setbacks may be required for cul-de-sac lots.

Figure 3: Setback RD-4 (minimums)

Figure 4: Setback RD-4 (maximums)



4. LAKEFRONT LOTS ON ISLANDS

It is recognized that, on lots adjacent to the lake, it is not desirable to have garages proximate to or prominently visible from the lake. Therefore, notwithstanding any other provisions of these Guidelines, requirements for placement of garages and for design/construction of porches and entries on lots of fifty feet (50') width or less, abutting the lake, may be modified by the LWDRC. Where garages are prominent along the street in these instances, the LWDRC may require that a specific percentage, to the extent possible, be placed side-on to the street.

It is further recognized that the two islands within Laguna West are such a width that, if they are developed as single-family housing, it may be required, as a function of design, that the placement of garages and design/construction of porches and entries be modified on the interior streets so that garages need not front on East Lake or West Lake Boulevards.

To the extent that lots back onto East Lake or West Lake Boulevards, any wall shall provide for gated access and appropriate landscaping along East Lake or West Lake Boulevard.

5. GARAGES AND DRIVEWAYS

The goal in controlling the garage placement is to reduce the visual impact of the auto and to allow the "human scale" elements of the building to dominate the street. Four options are provided: A) a single-lane side drive to rear garage; B) a garage recessed from the front of the home; C) a garage recessed from front of the porch; and D) a rear garage off of an alley.

Three-car garages are permitted ~~only~~ in Options A or D. ^{and} Garage ~~must~~ have one tandem stall or another configuration elevation with the appearance of a two-door garage. Garage visible from the lake edge shall have side and/or rear facade attractive as front elevations, including fenestrations. When condition, LWDRC may specify the maximum length of the

and may be allowed by LWDRC - up to 10% of a given model
For each model in a complex no more than one for each ten units of that type.

A) The side drive option can lead to an attached or detached rear of the site no closer than 60'-0" to the front property line. It shall be a single-lane for a minimum of the first 25'-0" and the side yard setback (zero lot line for uninhabited lots) shall have a minimum 2'-0" planting strip required between the building and the street. See Figures 5 and 6.

B) The front-facade recessed garage is required to be set back from the front line of the building and not less than 10'-0" behind the front line of the building. The width of the garage facade shall not exceed twenty-two feet (22'-0"). It can be no closer than 22'-6" to the front property line and may have a double car driveway. The garage door is required to have a 12" to 18" recess from the frame. See Figure 7.

- C) The porch-facade recessed garage, permitted only on lots of 50'-0" width or less, is required to be located a minimum of two feet (2'-0") behind the facade line of the porch. The width of the garage facade shall not exceed twenty-two feet (22'-0"). It can be no closer than 22'-6" to the front property line and may have a double-car driveway. The garage door is required to have a 12"-18" recess from the frame. See Figure 7.
- D) The alley option is only available in selected locations. In this case, the face of the garage would be located 15'-0" from the center line of a 18'-0" paved alley at the rear of the lot (i.e.: a 6'-0" setback from edge of alley). Light fixtures will be mounted onto garages so as to provide adequate lighting for alleys. An optional "granny" flat or second unit may be located above the garage. All alley units must use this alley option. See Figure 8.

Garage setbacks are as follows:

- | | |
|---------------------------|---|
| Option A (side drive) | 60'-0" minimum from front property line |
| Option B (front-recessed) | 22'-6" minimum or 5'-0" behind primary building facade line |
| Option C (porch-recessed) | 22'-6" minimum of 2'-0" behind porch facade line |
| Option D (alley) | 15'-0" from center of alley |

"Hollywood-style" driveways are required for driveways ten feet (10') or more in width; and are encouraged for those ten feet (10') or less in width. For single-car driveways, the "Hollywood" drive consists of two hard paved tire paths, 2'-0" to 3'-0" wide, separated by a landscaped strip at least 2'-6" wide. For double-car driveways, the "Hollywood" drive consists of a landscaped strip at least 2'-6" wide between the two driveways.

Figure 5: Attached Side Drive (A-1)

Figure 6: Detached Side Drive (A-2)

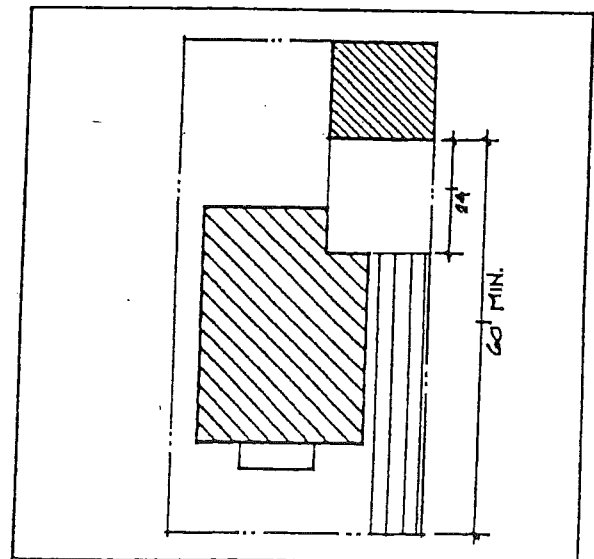
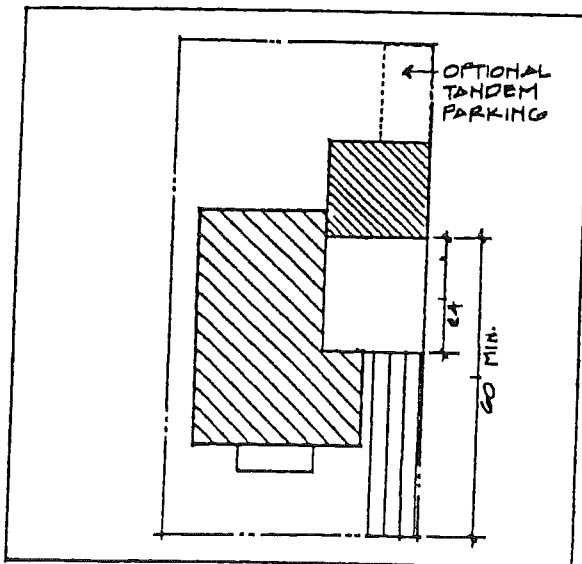


Figure 9: Porch with side drive

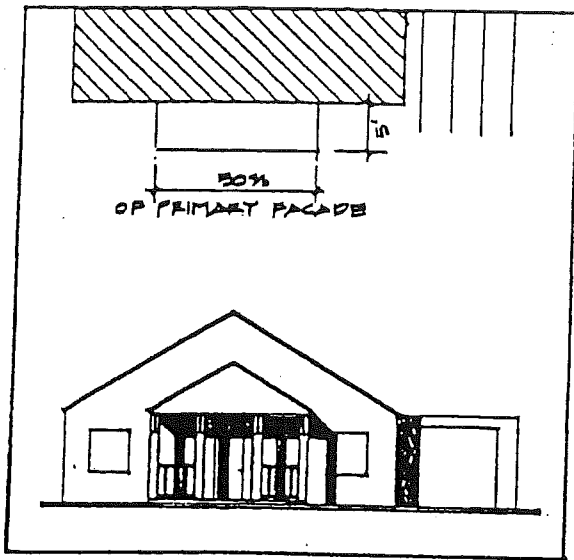
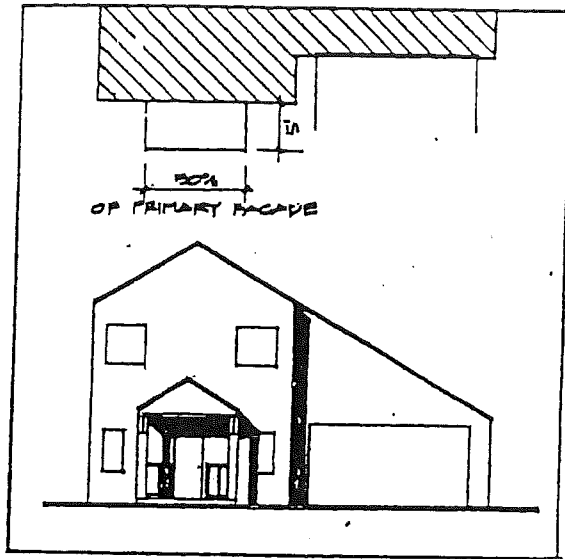


Figure 10: Porch with front drive



7. ENTRIES

In those models without porches a strongly articulated entry feature facing the street is required. This feature must clearly mark the entry and provide a minimum sheltered area at the front door. It must provide a covered area of no less than 4'-0" deep and 6'-0" wide with no more than 2'-0" of that depth recessed. Its architectural elements must be proportioned and detailed to create a sense of permanence and strength. The front door must be clearly visible from the street when no porch is present. See Figures 11 and 12.

Figure 11: Entry with side drive

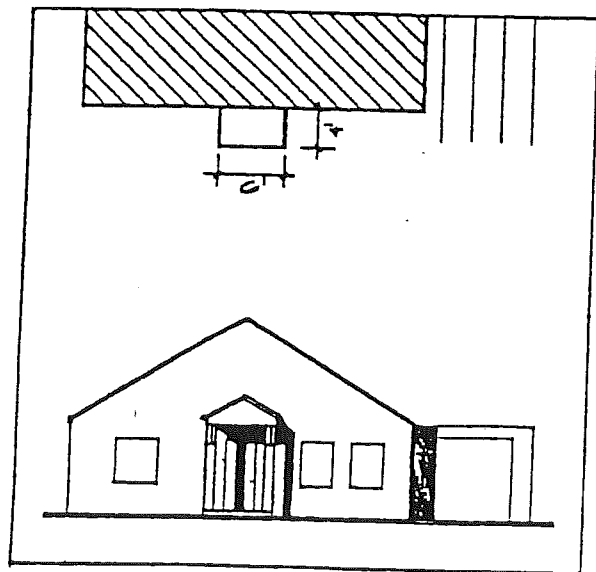
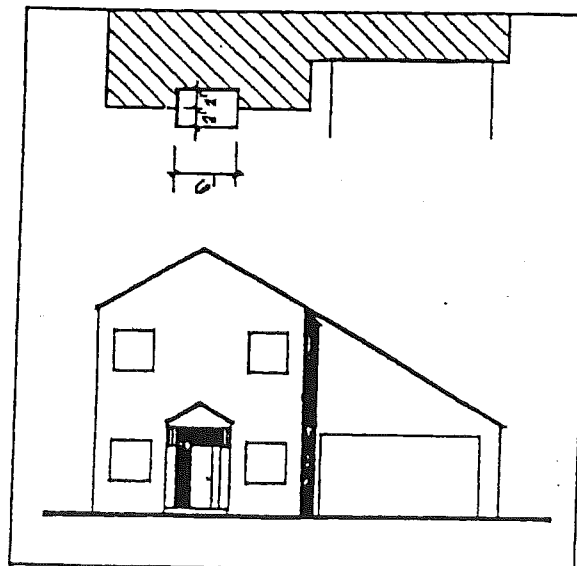


Figure 12: Entry with front drive (recessed)



8. ARCHITECTURE

Variety in the architecture is important to the character of Laguna West and is strongly encouraged. The use of different "styles" and materials is intended to add variety to the buildings just as is most often found in towns that have evolved over time. To balance this diversity, the public design features -- street landscaping, visible fencing, arcades, entries, esplanades, and public buildings -- will be treated with an eye to unity and consistency. These architectural parameters apply to all lots, but are intended to control only those aspects which directly affect the public areas.

A. Exterior Materials

Variation in building facades should be achieved, in part, by using a variety of materials along each street, including, but not limited to, stucco, wood siding, stone and brick. Street elevations should be broken with reveals, recesses, trim elements and other architectural features to provide visual interest. In general, high quality materials are encouraged, and pre-fabricated inexpensive materials are discouraged; exterior plywood, such as T-1-11, is not allowed on the front facade or any part visible from any street or public space.

In order to avoid the appearance of a false applique, no material change is allowed at corners. Material changes must occur at reverse corners or must return on the side wall to the privacy fence. In no case shall this return be less than 4'-0". See Figure 13.

B. Model Variations

In order to prevent the appearance of discrete "villages" and promote the sense of a whole community, each home builder must develop as much variety in design and material as possible within each village. Each area of 150 or fewer homes must have at least four models with three elevations and material change variations. For villages below 100 units, at least three models with three variations each are required. Additional homes may require additional plans and elevations. A consistent "style" for a group of homes should be avoided. For example, a "unit" with similar materials and architectural style through out will not be allowed. The different models should exploit the possibilities of variation offered by the garage location and entry-porch options outlined above, as well as variations in floor plan.

The elevation variations should expand on these differences with differing porch treatments, window design, surface materials, roofing materials, and bay treatments. For example, elevation variation should use different architectural styles, building massings and details, as well as different facade and roof materials. No identical model and elevation type will be allowed side by side.

Roofing material must vary in type, such as cedar shake, tile and composition shingles, not just configuration. Of the elevation variations, at least two different primary roofing and siding materials are required on the front facade. Similar materials with different colors will not be allowed.

F. Mechanical

All electric, gas, television, radio and telephone lines shall be placed underground. No heating, cooling, antennas or air conditioning equipment, including fans or similar devices, shall be placed on the building roof. Satellite dishes are not permitted.

9. CORNER LOTS

A. Single-Family Homes

Special building configurations should be considered for corner lots because they have street frontage on two sides. First, it is important to address both of the streets on which the building abuts. Second, it is essential to have the building mass address the streets, rather than a driveway. With this in mind, porches on corner lots must either wrap the corner or the porch must have two sides which address the corner or the entry and walk must address the corner. Orientation of the primary facade should take into account the location of entries on adjacent lots and lots across the streets, as well as adjacencies to parks and other open spaces or urban design features.

A driveway may not run along the length of a street, it must be to the inside of the building and the block. The driveway may access either street, but orientation to the minor street is preferred. See Figure 15.

B. Half-Plex Homes

Corner lots designated for half-plex development shall have two separate driveways each entering from a different street. The entry and porch elements for each of the units will face the alternate streets. The drives must be set back from the corner where lot depths and widths permit, and the garage and building setbacks must conform to the standards set for the density of the development unit. Where possible one garage should separate the two units. Setbacks may be 12'-6" for the Porch/Entry, and 15'-0" for the Building. See Figure 16.

10. STANDARD STREET SECTIONS

Street sections shall be per the Special Street Ordinance for Laguna West. However, in place of minor residential streets with tree wells, or standard minor residential streets, all minor residential streets on which construction commences after September 1, 1994, shall conform to Figure 17. The minor residential street shall consist of 22' of pavement, 3' rolled or vertical curb and gutter, a 4' landscape strip; and a 4' split sidewalk.

Figure 15: Single-Family Corner Lot

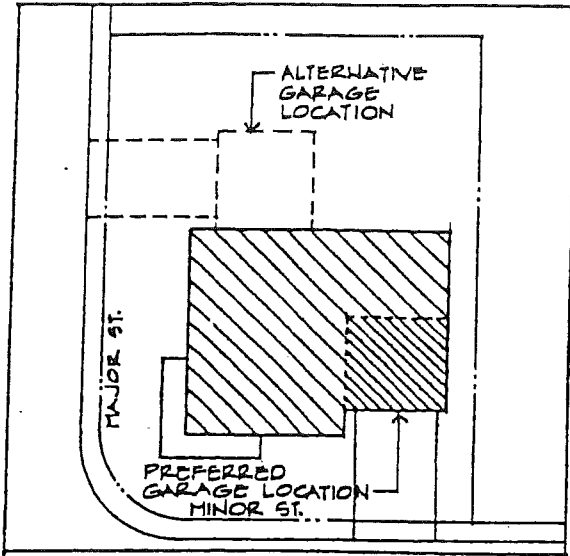


Figure 16: Half-Plex Corner Lot

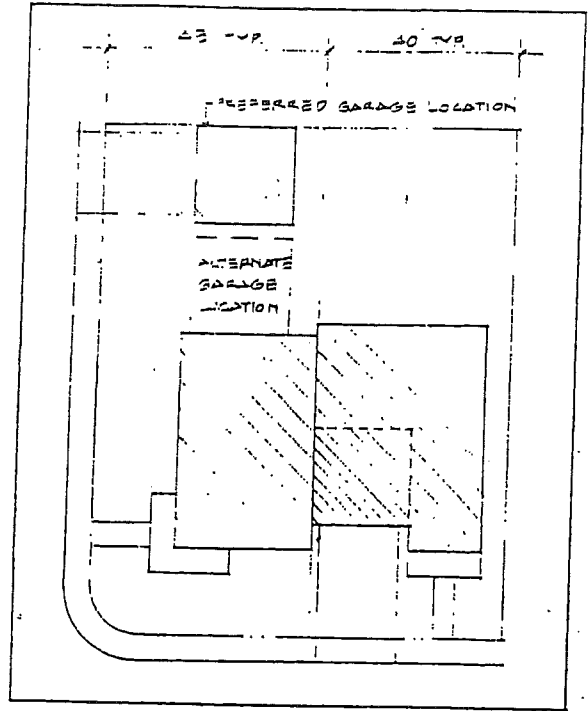
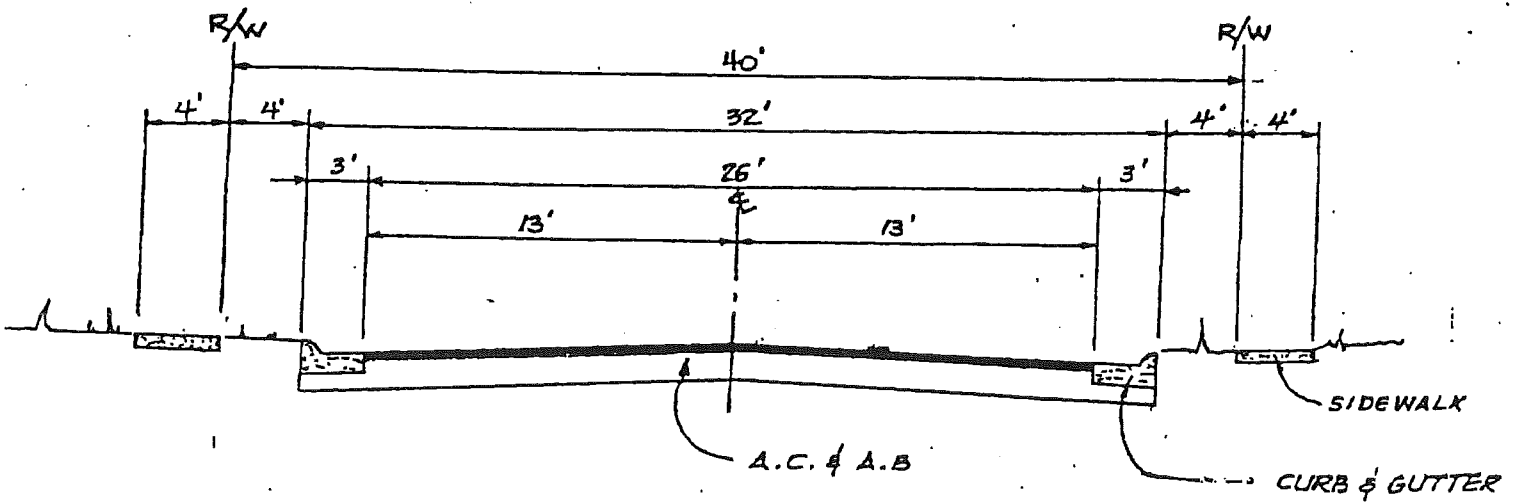


Figure 17: Split Sidewalk



TYPICAL SECTION

C. Roofs

The pitch of a roof shall be at least six feet (6') in twelve feet (12'), provided that the LWDRC may permit a roof with a pitch of less than six in twelve if the roof is harmonious with the overall design of the proposed improvement and is aesthetically pleasing to the LWDRC. The porch may be constructed with a four in twelve pitch roof. Approval of the roof design and material shall in no way imply approval of structural integrity.

D. Projections and Bays

In order to encourage variety and scale in the facades, bays and projections of up to 3'-0" will be allowed into the front yard building setback. These projections must be designed in such a way to avoid visual competition with front porches or entries, and they may not project in front of porches or entries. See Figure 14.

Figure 13: Material Changes

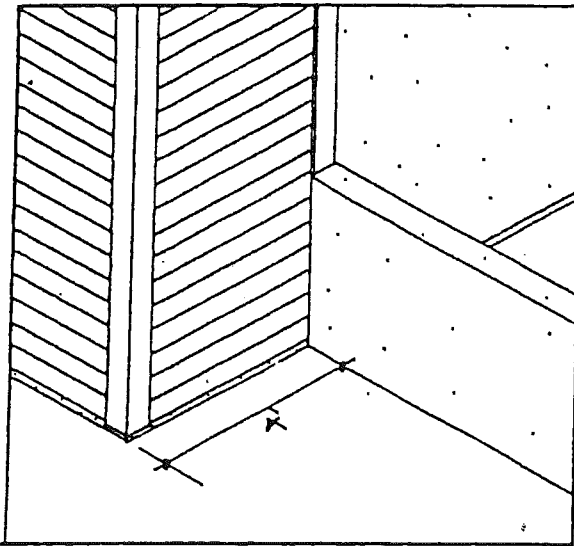
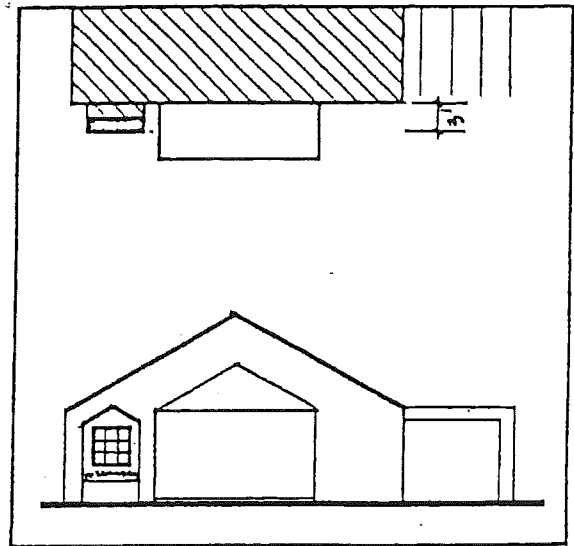


Figure 14: Projections and Bays



E. Units Backing on Major Streets

The high exposure of units which abut major streets (i.e.: Laguna Boulevard, East Lake Boulevard, West Lake Boulevard, Babson Drive, Harbour Pointe Drive, and others to be determined by the LWDRC) promote some special concerns and considerations. Rear or side elevations visible from major roadways will receive special review for adequate facade treatment. Window treatments, roof lines and materials should match front facade in appearance and quality.

SECTION 3:
SINGLE FAMILY STANDARDS
FACT SHEETS AND ILLUSTRATIVE DESIGNS

SINGLE FAMILY - RD-4

1. BUILDING SETBACKS

- Porch:** On streets without split sidewalk, 15'-0" minimum, 20'-0" maximum, with possible 5'-0" additional setback at the lakeside drive. On streets with split sidewalk, the setback is 11'-0" minimum, 20'-0" maximum., also with a possible 5'-0" additional setback at the lakeside drive.
- Building:** On streets without split sidewalk, 20'-0" minimum, 25'-0" maximum. On streets with split sidewalk, 16'-0" minimum, 25'-0" maximum.
- Side Yard:** 5'-0" minimum for 1-story, 7'-6" for 2-story homes; or 0' at detached garages
- Rear Yard:** At lots backing onto lake: 30'-0" minimum from bulkhead. At lots backing onto promenade: 20'-0" minimum from edge of promenade (garage or main building not allowed in this setback)

2. GARAGE SETBACKS

- Side Drive:** 60'-0" minimum from property line
- Front Drive:** 22'-6" or 5' behind primary facade line

3. PORCH

- Depth:** 5'-0" clear minimum
- Length:** 50 percent or 10'-0" minimum of non-garage facade, whichever is larger

4. ENTRY

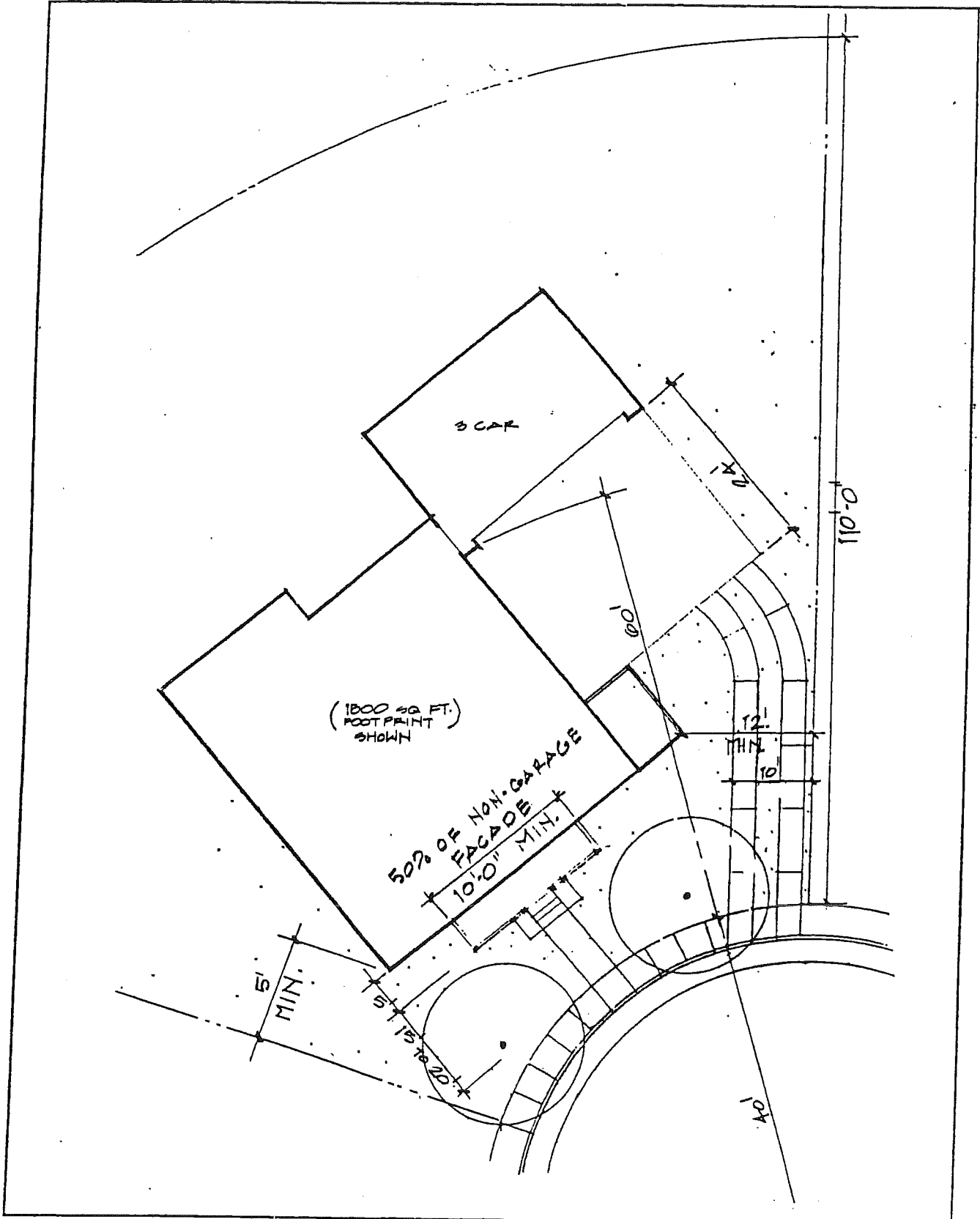
- Depth:** 4'-0" clear minimum
- Length:** 6'-0" clear minimum

Note: These dimensions may recess by only 2'-0"

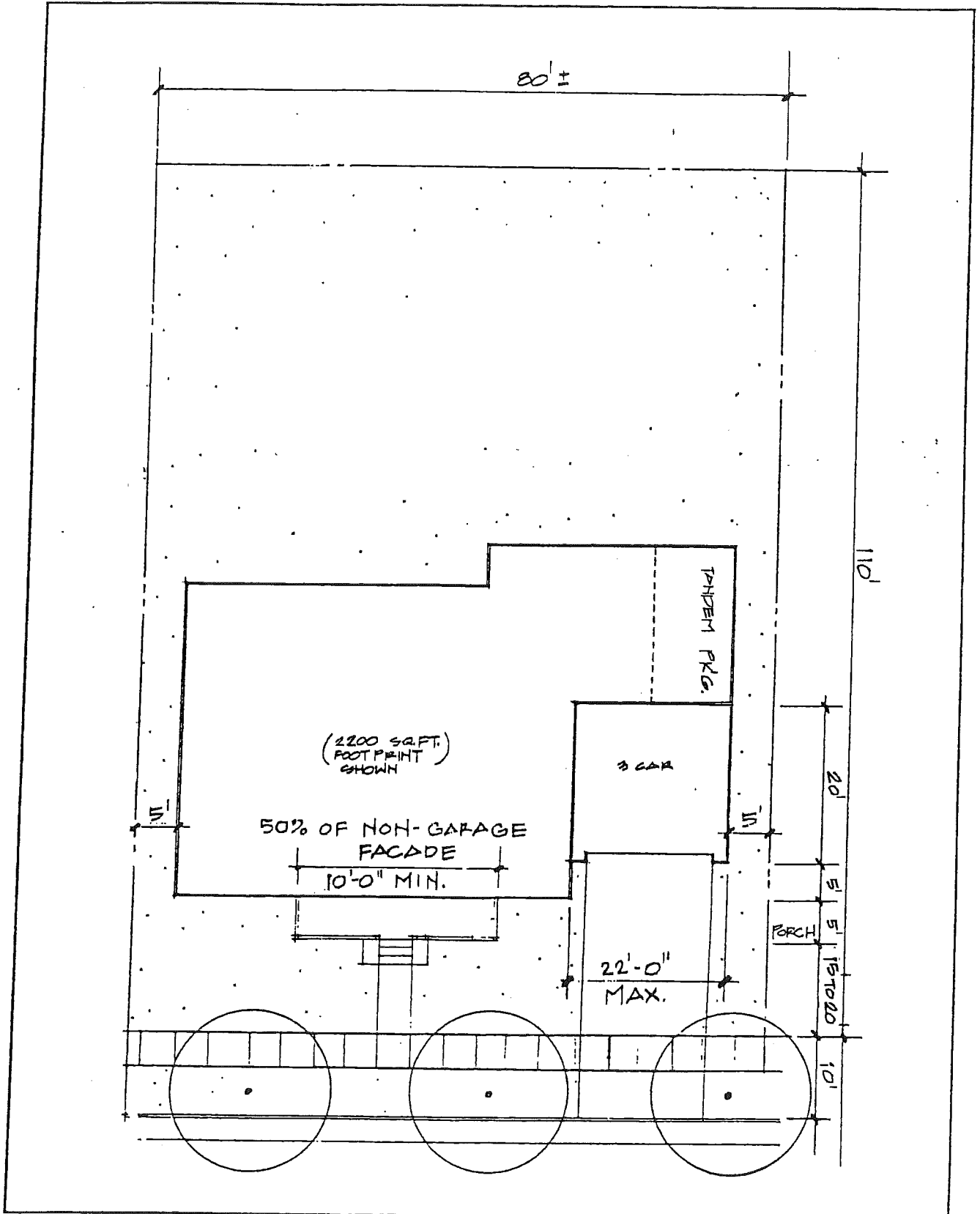
5. LANDSCAPE (see Landscaping section)

- Street Trees** At monolithic sidewalk - approximately 20'-35' on center, and 4'-0" from sidewalk.
- At split sidewalk - approximately 20'-35' on center, at center of planter width.
- At tree wells - one per well

RD-4 - Option A (Sidedrive - Garage attached)



RD-4 - Option B (Frontdrive)



SINGLE FAMILY - RD-5

1. BUILDING SETBACKS

- Porch: On streets without split sidewalk, 12'-6" minimum and 15'-0" maximum. On streets with split sidewalk, 8'-6" minimum and 15'-0" maximum.
- Building: On streets without split sidewalk, 17'-6" minimum and 23'-0" maximum. On streets with split sidewalk, 12'-6" minimum and 23'-0" maximum.
- Side Yard: 5'-0" or 0' at sidedrive and alley garages
- Rear Yard: At lots backing onto lake - 30'-0" minimum from bulkhead. At lots backing onto promenade - 20'-0" minimum from edge of promenade (garage or main building not allowed in this setback)

2. GARAGE SETBACKS

- Side Drive: 60'-0" minimum from property line
- Front Drive: 22'-6" or 5'-0" behind primary facade line
- Alley/Granny: 15'-0" from center of alley

3. PORCH

- Depth: 5'-0" clear minimum
- Length: 50 percent or 10'-0" minimum of non-garage facade, whichever is larger

4. ENTRY

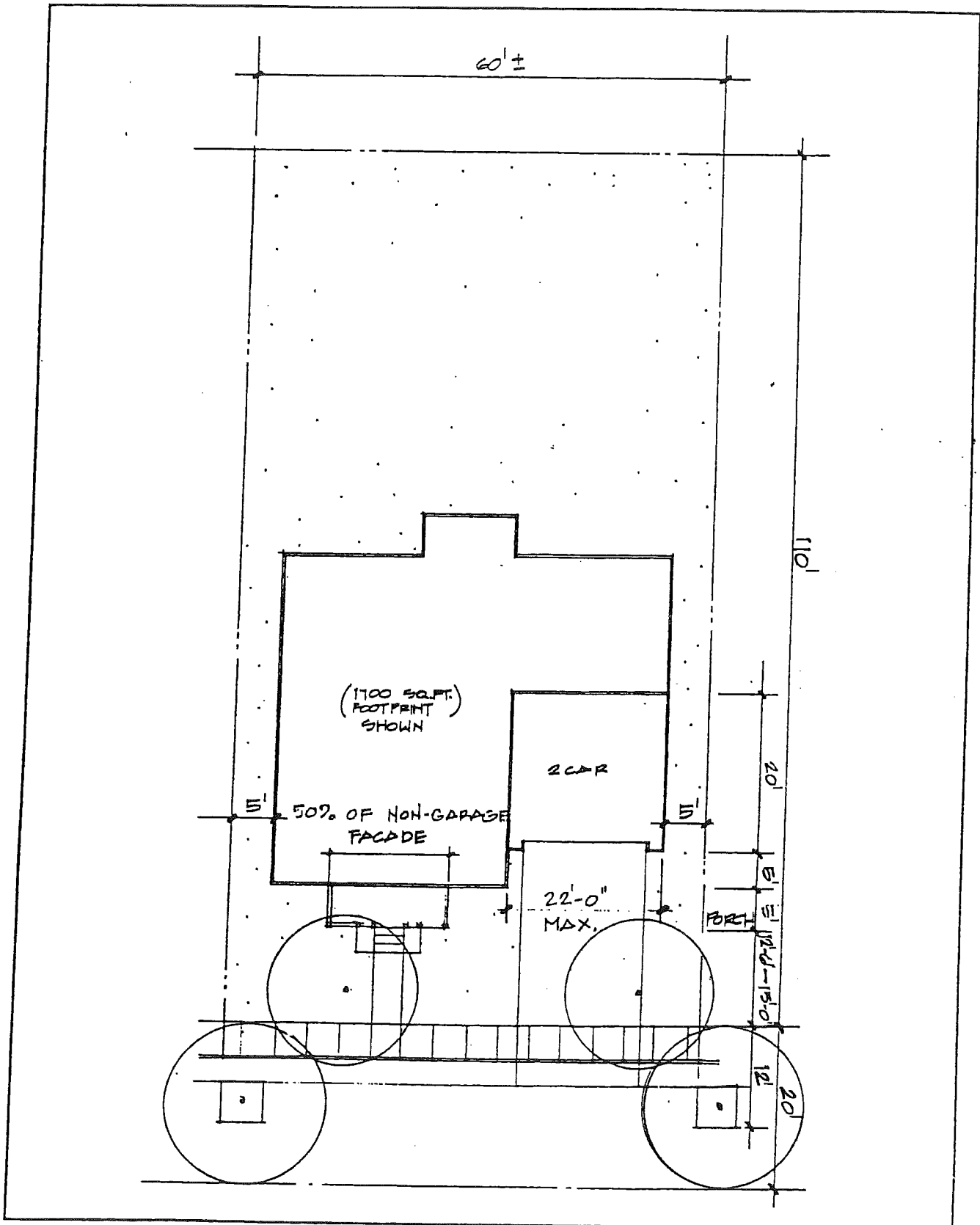
- Depth 4'-0" clear minimum
- Length 6'-0" clear minimum

Note: these dimensions may recess by only 2'-0"

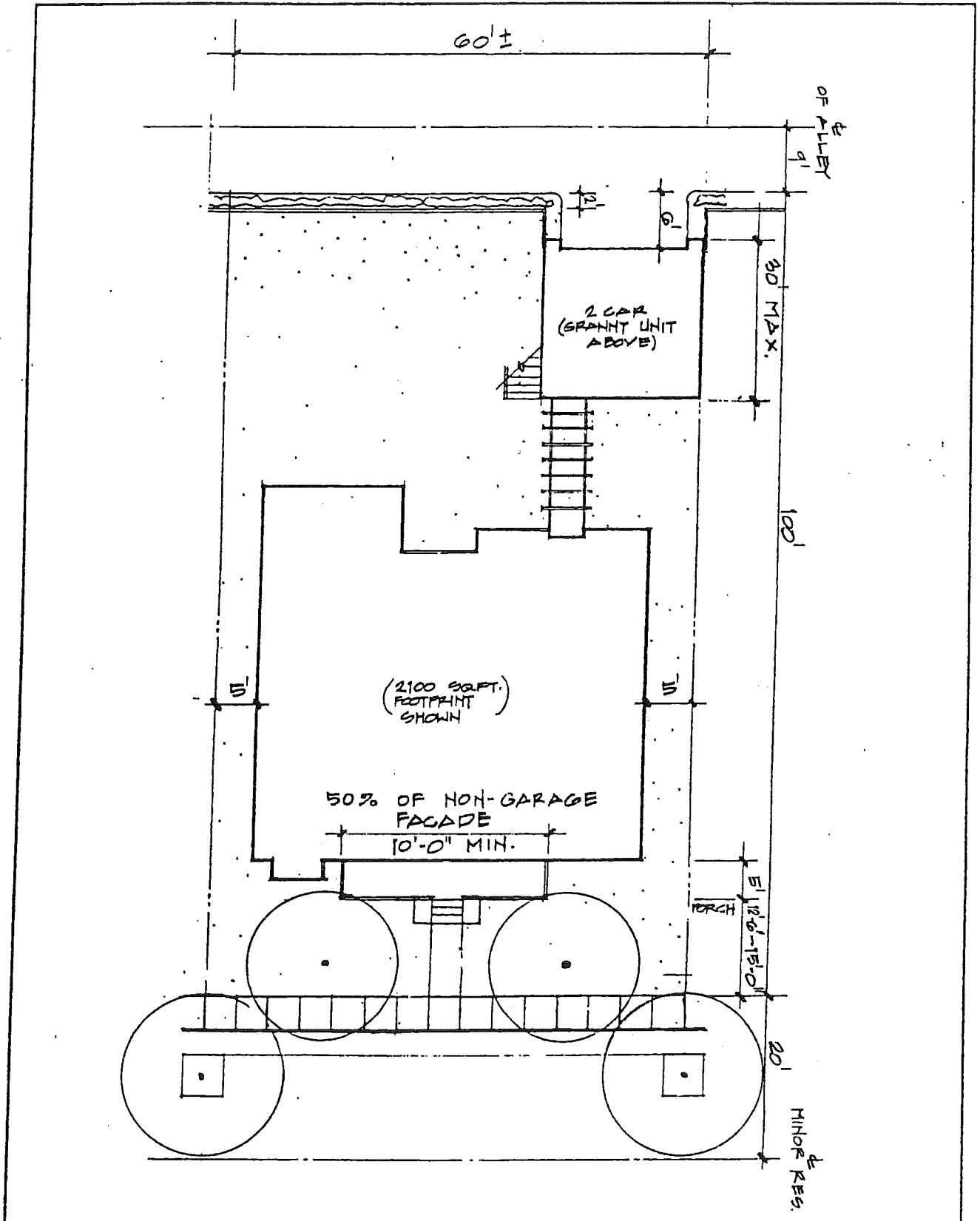
5. LANDSCAPE (see Landscape Design Guidelines)

- Street Trees
- At monolithic sidewalk: approximately 20'-35' on center, 4'-0" from sidewalk.
- At split sidewalk: approximately 20'-35' on center, at center of planter width.
- At tree wells - one per well
- Option C 2'-0" planter required at alley

RD-5 - Option B (Frontdrive)



RD-5 - Option D (Alley)



SINGLE FAMILY - RD-7

1. BUILDING SETBACKS

Porch: On streets without split sidewalk, 12'-6" minimum, and 15'-0" maximum. On streets with split sidewalk, the setback may be reduced by 4'-0" consistent with the public utility easement.

Building: On streets without split sidewalk, 17'-6" minimum, and 23'-0" maximum. On streets with split sidewalk, the setback may be reduced as above.

Side Yard: 0'-0" one side, 12'-0" other; 0'-0" for garage

Rear Yard: At lots backing onto lake: 30'-0" minimum from bulkhead (garage or main building not allowed in this setback). At lots backing onto promenade: 20'-0" minimum from edge of promenade (garage or main building not allowed in this setback)

2. GARAGE SETBACKS

Side Drive: 60'-0" minimum - detached only

Front Drive: 22'-6" or minimum 2' behind porch facade line for lots 50' wide or less

Alley/Granny: 15'-0" from center of alley

3. PORCH

Depth: 5'-0" clear minimum

Length: 50 percent or 10'-0" minimum of non garage facade, whichever is larger

4. ENTRY

Depth: 4'-0" clear minimum

Length 6'-0" clear minimum

Note: These dimensions may recess by only 2'-0"

5. LANDSCAPE (see Landscape Design Guidelines)

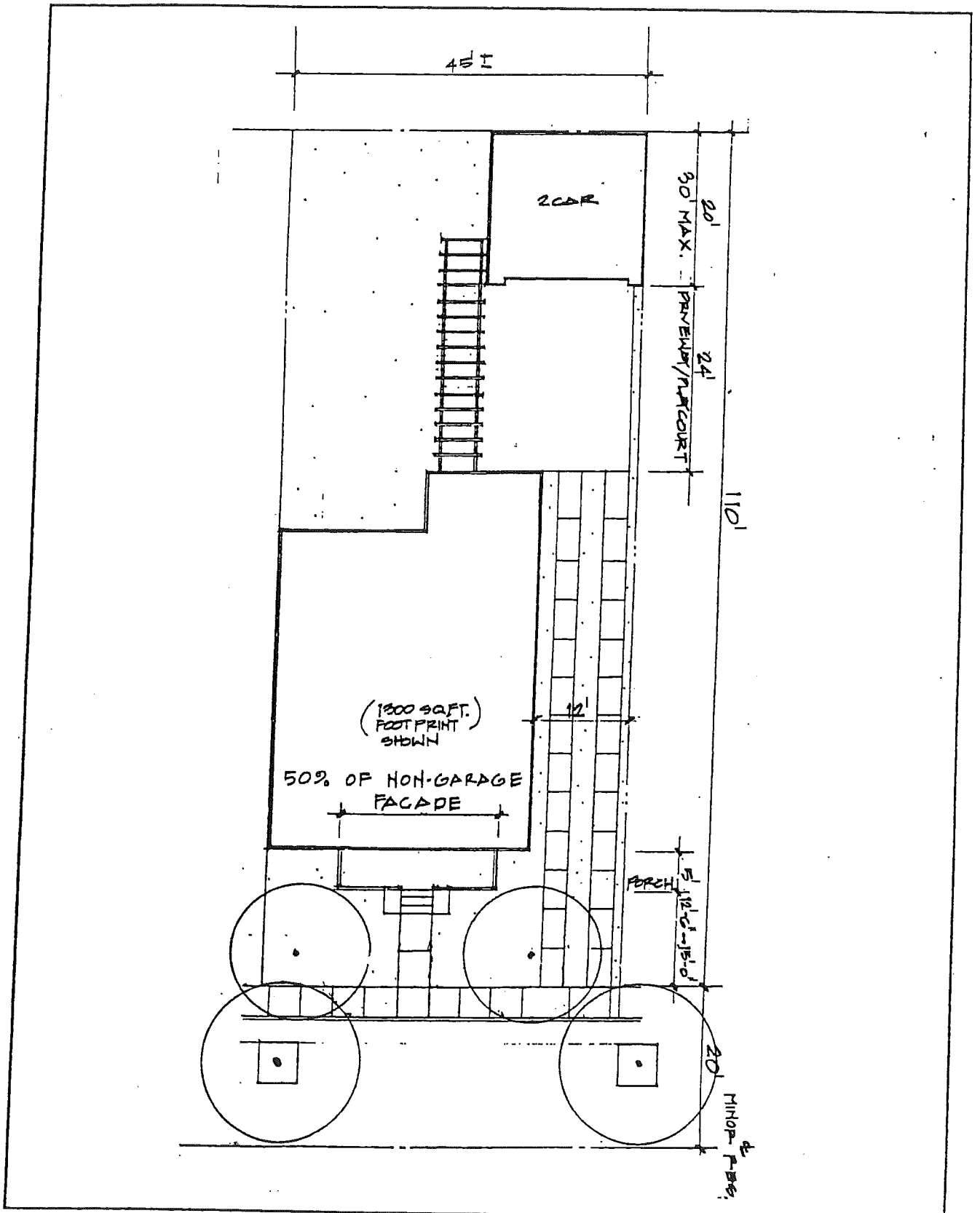
Street Trees: At monolithic sidewalk: approximately 20'-35' on center, 4'-0" from sidewalk

At split sidewalk: approximately 20'-35' on center, at center of planter width

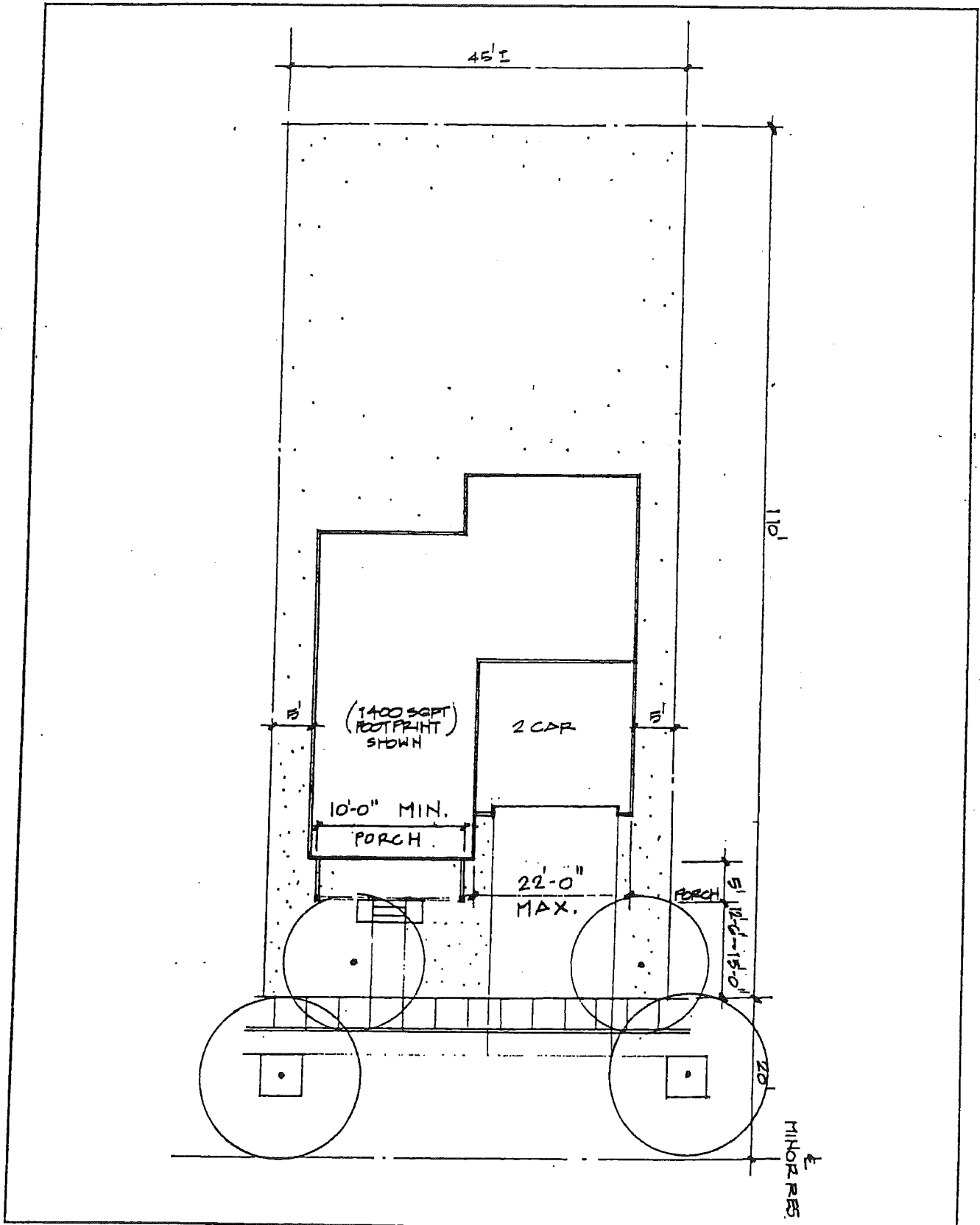
At tree wells - one per well

Option C: 2'-0" planter required at alley

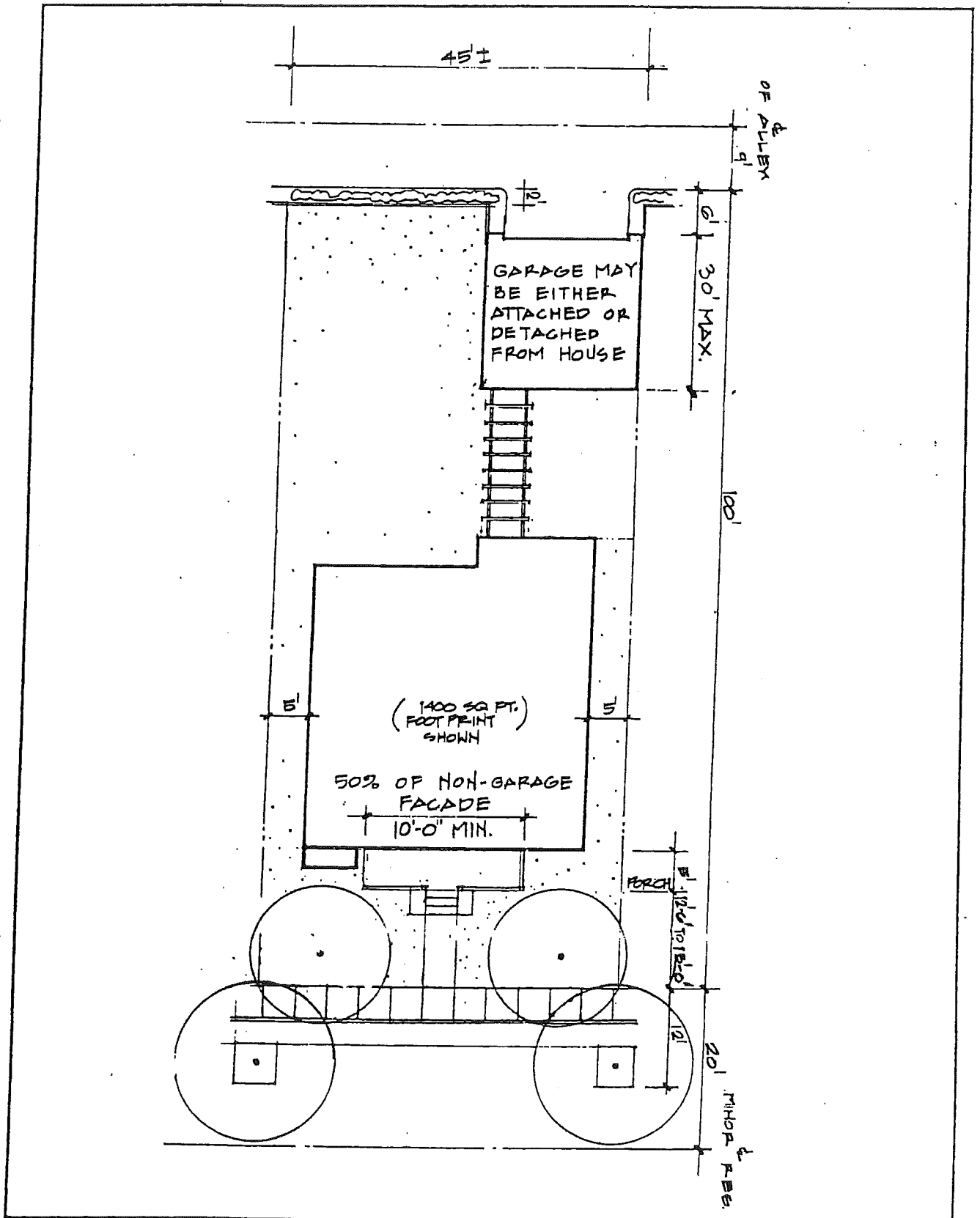
RD-7 - Option A (Sidedrive - Garage detached)



RD-7 - Option B (Frontdrive)



RD-7 - Option D (Alley)



SECTION 4: LANDSCAPING

1. INTRODUCTION

The primary intent of these Guidelines is to create a complete and quality landscape framework for Laguna West. The goal is to establish a traditional "town" character where streets are convenient and comfortable for walking; and where parks become a public focus for activity.

The landscape plan for Laguna West plays an important role. Streets are lined with large shade trees, park spaces provide extensive lawns and other areas for active and passive recreation, and the lake offers a variety of water-oriented opportunities. All of these amenities are close to the single-family homes.

The California landscape is in a crisis situation. Droughts and freezes – unusual but part of the natural cycle – are changing the face of landscaping. Both private and public landscapes represent a substantial investment to install and maintain. These Guidelines offer a list of trees, shrubs and groundcovers that will ensure your success for a beautiful water-conserving landscape. You will also need to understand where to plant certain species according to light, soil and water requirements of each plant. Using sensible plant selection and the creative arrangement of plants, your landscape will be aesthetically pleasing, ecologically sound and economically appealing.

"Thirsty plants" identified on the list should be limited to small areas. Lawn is such a plant. Turf grass is the only plant tolerant of extensive use and foot traffic. It should be limited primarily for that function. Lawns should be eliminated or relegated to a small patch in the rear garden. The use of a paved patio replaces lawn for primary family functions and may be surrounded by trees and shrubs for privacy and shade. As a result, your maintenance costs and time spent maintaining your garden should be reduced by more than half from a more traditional approach.

A. Design Review and Plan Submittal Information

Submittal procedures for landscape plans, fees and schedules are detailed in Section 1 of this document.

Landscape plans shall be submitted for approval while still in the design phase. Plans shall indicate species and size of plants to be installed, type of irrigation system, coverage, paving materials and proposed installation details. Plans shall also conform to the *Sacramento County Water Conservation Ordinance*.

B. What the Landscape Will Look Like

While the requirements are detailed in the following sections, the possibilities for an attractive landscape are infinite and must be left up to the creativity of the builder, homeowner and landscape designer.

Shade-giving trees and interesting groundcovers are recommended over lawns, combined with an abundance of colorful flowers and flowering shrubs. Freestanding structures show off the home and lessen the need for large expanses of lawn through decks and paved patios. If resources are distributed in a useful manner, the lawn will not be missed. Lawn can even be shared between two lots, for increased use and a more spacious appearance.

The basic landscape package offered to homebuyers should have a low-water landscape alternative – for example, a landscape plan could accompany the basic shrub, hedge, irrigation and street tree installation. The more costly groundcovers and shrubs could be installed later by the homeowner. Where a hedge is installed at back of sidewalk, this package would offer an attractive streetfront, the homebuilder would have a low water and cost-effective basic package, and the homeowner would have more options.

1) Front Yard

The American institution of the front porch works effectively as the area where the neighborhood and the private space meet. An adequate porch welcomes users and borrows space from the outside, making the inside adjacent rooms seem larger. Hedge enclosures continue that private space transition. Definition of space, by fences and hedges, are substituted for a larger lot's distance to make the front yard usable.

2) Rear Yard

Private patios and decks extend the interior space of the home, making it appear much larger, and reduce the need for high-maintenance lawns and their high water use. Landscape structures such as gazebos, arbors, screened summerhouses or porches, make the corners of lots usable and enjoyable.

There are many planting alternatives to the default back yard lawn. For example, a woodland forest planting with usable patio off the living space provides needed shade to the Sacramento home. There are many variations of beautiful shade-loving flowers, groundcovers and shrubs.

2. GENERAL LANDSCAPE REQUIREMENTS

While we welcome variety in landscaping, certain elements are critical to the design and success of Laguna West. The most important element is the uniform planting of shade trees along each street, to provide a leafy canopy over time.

Specific tree species have been carefully selected for each street and are listed in the Street/Tree Matrix in the Appendix. Beyond the basic requirements outlined below, individual homeowners can design their own landscaping.

All landscape improvements or changes must be submitted to the Laguna West Design Review Committee prior to installation.

A. Planting

Special attention should be paid to proper soil amendment treatment before plant installation. In this area, lowering alkalinity and adding humus will repay any additional initial cost with a consistently improving landscape investment. For more information, see the Appendix for typical planting details and soil amendments.

In general, trees must be of a minimum 15-gallon size, but the LWDRC reserves the right to require 24" box size in specific locations.

All landscaping visible from lake, public right-of-way or public space must be completed within 90 days of close of escrow or completion certificate, whichever is later.

1) Within Street Tree Wells

On streets with tree wells, the master developer shall provide a curbed tree well within the street infrastructure on designated streets. The inside dimension shall be 4'-0" x 5'-0" with properly-sized irrigation sleeve access (see Figure 18).

The parcel developer shall provide an install one 24" box tree, per tree well, with decomposed granite or groundcover, proper soil conditioning, staking and irrigation (see Figure 18). Specific tree species are required (see Appendix for list).

2) Along Split Sidewalks

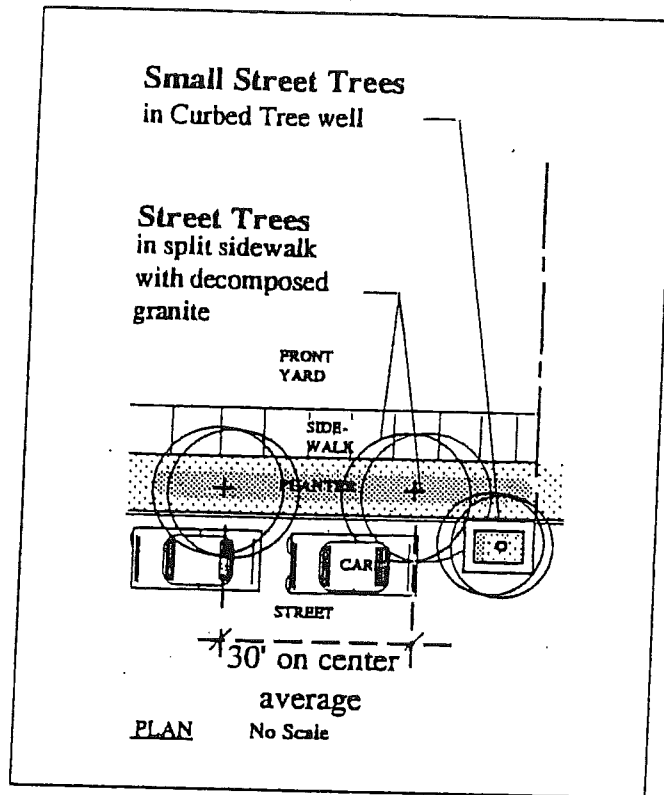
A "split sidewalk" is a sidewalk that is not abutting the back of the curb. Where there are split sidewalks, the master developer shall provide a 6'-wide continuous planter, inside dimension, on designated streets between the sidewalk and the curb (see Figure 18).

Within this landscape strip, the parcel developer shall provide and install 24" box trees at an average of 20' to 30' on center along the entire length of street, or an average of two per lot. On streets designated as "minor streets" (all streets not shown as "major streets" via broken line shown on Landscape Appendix Exhibit A), the parcel developer may provide and install 15-gallon trees at an average of 20' to 30' on center along the length of the street, rather than the 24" box size required on major streets.

If spacing is interrupted by street light or driveway, re-space to accommodate required clearances while keeping required quantity of trees on average. Keep tree trunk approximately 10'-0" away from pole location. Under street trees, install decomposed granite mulch with filter fabric below gravel for a permanent treatment in entire planter, or plant low-growing groundcover with special paving provisions for walking between street trees. All planting shall conform to County standards for sight line requirements at intersections.

Specific tree species have been pre-selected and are required for each street (see Appendix).

Figure 18: Street Trees Diagram



3) Along Non-Split Sidewalk (Within Front Yards)

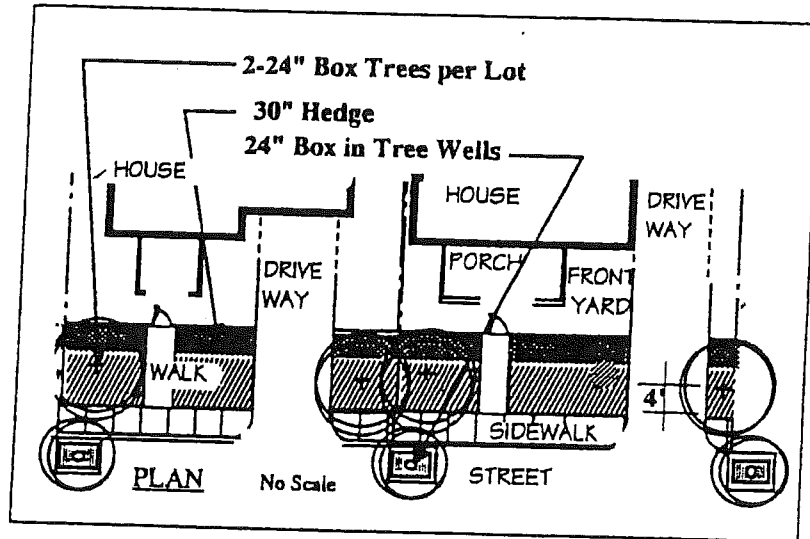
Street Trees - The intent is to create a heavy "canopy" over the sidewalk. The parcel developer shall provide and install an average of two 24" box size trees per lot frontage, with the trees specified in the Street/Tree Matrix in the Appendix. These trees shall have an average spacing of 20' to 30' on center, as measured along the entire length of street, for an average of two per lot. On streets designated as "minor streets" (all streets not shown as "major streets" via broken line shown on Landscape Appendix Exhibit A), the parcel developer may provide and install an average of two 15-gallon trees per lot frontage, rather than the 24" box size required on major streets.

The LWDRC will set the exact dimension according to the length of property line frontage. They shall be located 4'-0" in distance behind the back of the sidewalk. A 5'-0" minimum width central walk is required and could be part of an entry patio (see Figure 19). Hedges are recommended (see Appendix for hedge species palette as well as fence and enclosure section).

For corner lots, the exposed side yard facing the street shall also be planted with trees planted approximately 20-30' on center.

Specific tree species have been pre-selected and are required for each street (see Appendix).

Figure 19: Private Front Yard Planting - Setback Hedge Option

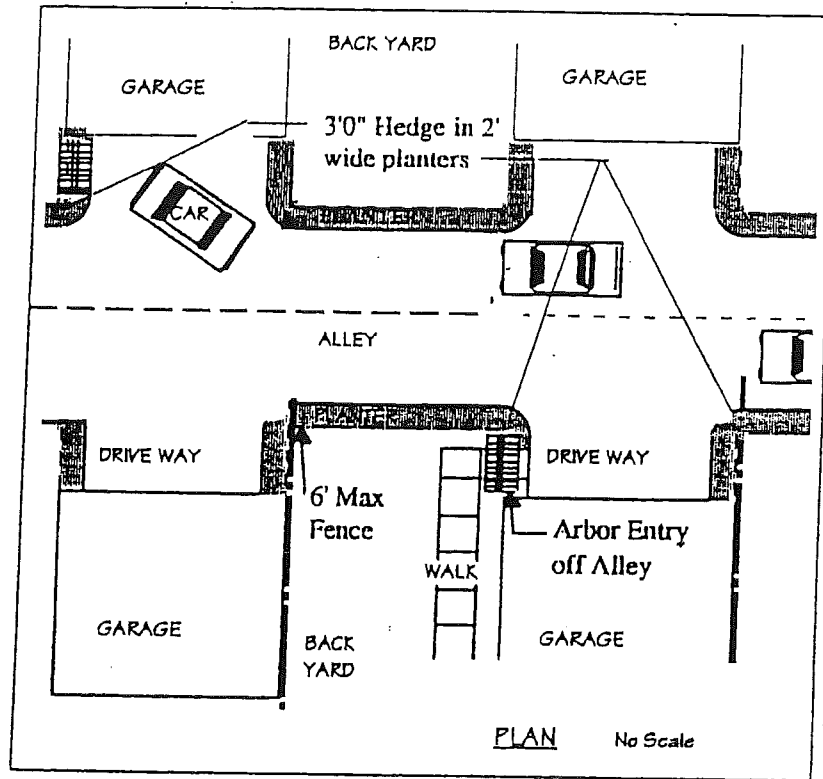


4) Alley Plantings

The master developer shall provide a continuous 2'-0" wide (inside dimension) planter area setback, parallel to alley, between driveway entries. When possible, planter area should return to face of garage, allowing walk access (see Figure 20).

The parcel developer shall provide and install five (5)-gallon shrubs at 3'-0" on center within this planting strip (see Figure 20). For species type and planting criteria, see Appendix. Maintain hedge to a maximum of 30" in height.

Figure 20: Alley Planters and Fence Relationship



5) Lake Edge Plantings

Schematic landscape plans have been created for lots fronting on the lake. These are shown in the Appendix, under the appropriate parcel name.

While the plans vary depending on the location, there are common elements: groundcover along the lake edge, required by the County of Sacramento, to keep fertilizers and other chemicals from washing into the lake, which also helps keep your Homeowners' Association costs low; and specific trees, generally two per lot, planted in a linear pattern, to create a natural lake edge. Trees must be at least 15-gallon size. To keep roots from invading the hardscape, root barriers must be installed with the trees.

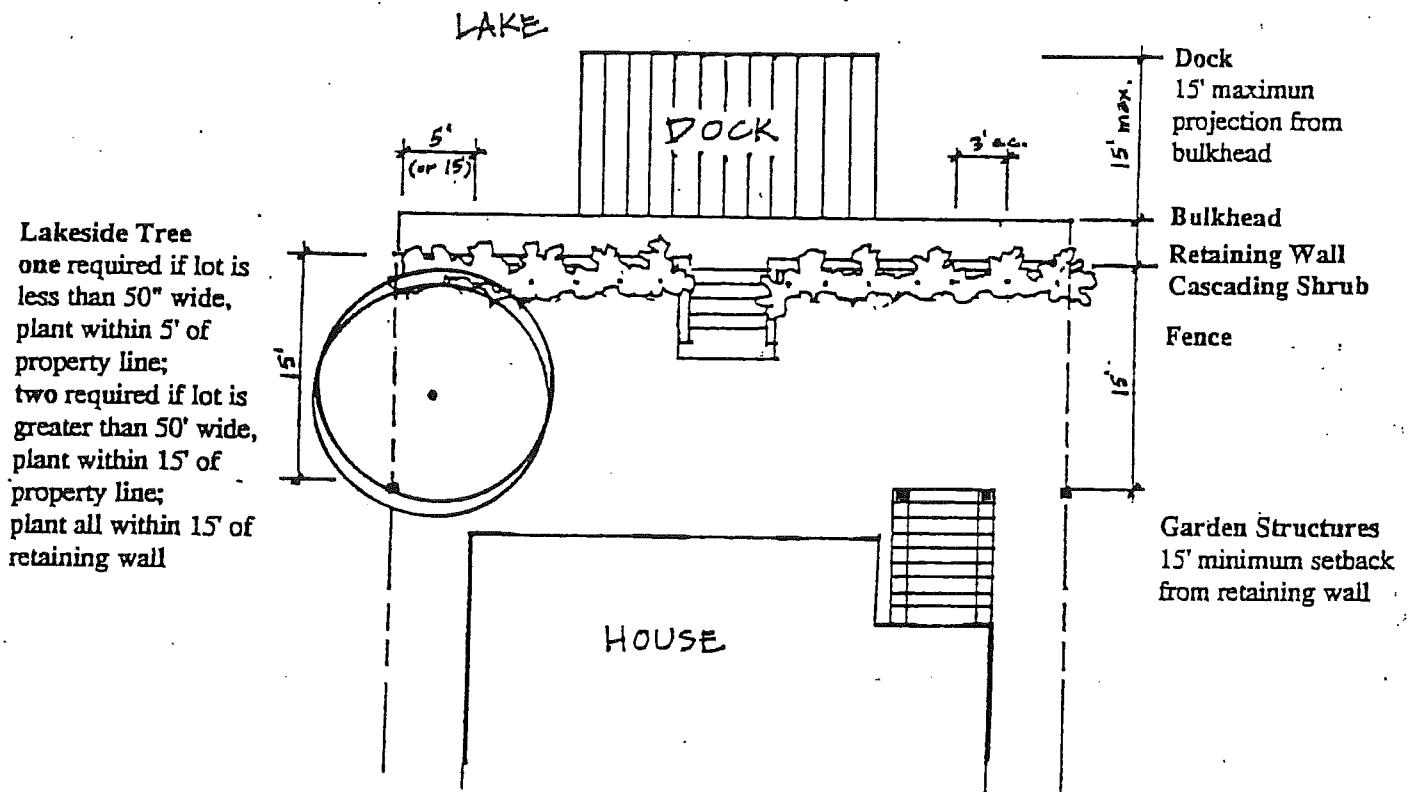
Beyond the minimum requirements illustrated, homeowners may submit plans for additional landscaping.

6) Mini-Parks and Cul-de-Sac Islands

The parcel developer shall have landscape plans prepared by a landscape architect for these islands; plans shall be patterned after the schematic design plans included in these Guidelines (see Figure 22 for the cul-de-sac island park schematic plan). Schematic plans for the mini-park islands may be found in the Appendix. Plans shall provide a 7'-6" fire truck

clearance from the curb of reinforced turf. Install type of reinforced turf that is not apparent to the eye (i.e. a series of short vertical cylinders, not turfstone). Curb shall be rolled. For hedge criteria, see Appendix. All plans shall also be evaluated according to the Street/Species Matrix, also found in the Landscape Appendix, and the *Sacramento County Water Conservation Ordinance*.

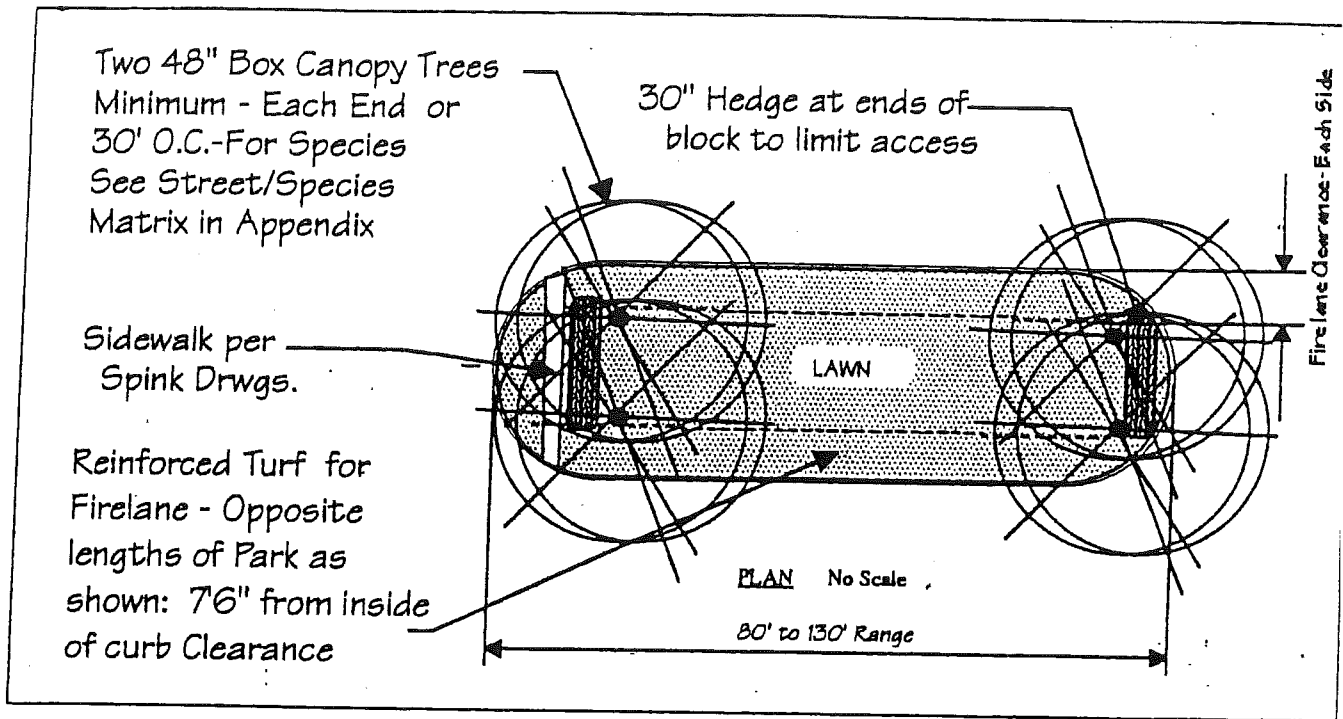
Figure 21: Lake Edge Planting - Private Property



B. Irrigation

All irrigation systems shall be designed to adequately establish and maintain healthy plant material with adequate water. The system shall provide 100 percent coverage and equalized precipitation rates. All systems shall be water conserving and as maintenance-free as possible. For individual homeowners, a low-volume spray irrigation system, such as a micro-spray slow emission type, is strongly recommended; drip is not recommended. All systems shall be served by an automatic controller and designed by a landscape architect or certified irrigation designer prior to submittal to the LWDRC. Irrigation shall conform to the *Sacramento County Water Conservation Ordinance* and designed according to this Guidelines' irrigation section.

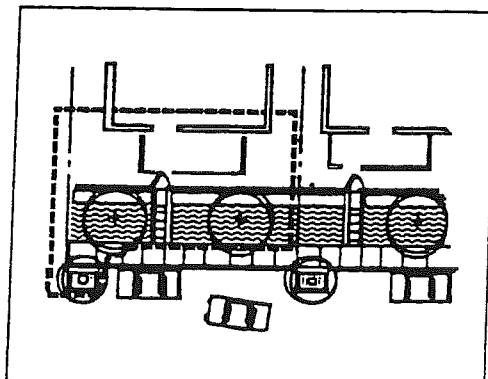
Figure 22: Cul-de-Sac Island Planting Schematic



Within the public right-of-way, the parcel developer shall provide an install a complete and independent automatic irrigation system in designated public areas. These areas, and the plantings they serve, shall be maintained by the parcel developer until such time that the Laguna West community or public agency takes over their operation.

Plantings that may occur within the public right-of-way but are adjacent to or within 10'-0" of property line shall be irrigated by the adjacent homeowners' individual automatic irrigation system (see Figure 23). If applicable, irrigation system will be designed according to the Elk Grove Community Services District's preferences for irrigation controllers.

Figure 23: Private Irrigation Maintenance of Public Property



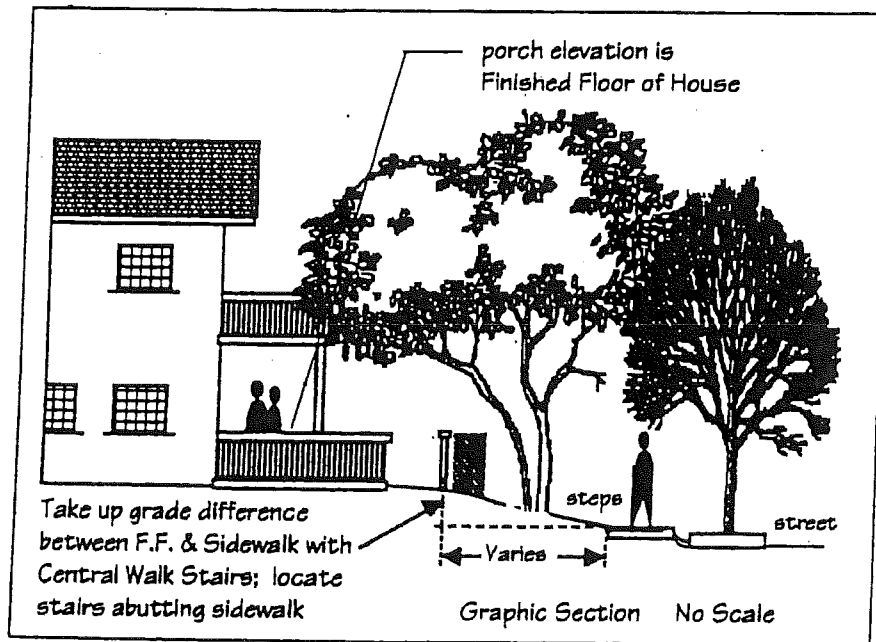
C. Grading and Drainage

All lots shall grade away from house with two (2) percent minimum slope and direct water to the nearest gutter or drain inlet. If necessary, a small collector channel shall run the length of the property line to accommodate positive surface drainage. All grades shall conform to engineered minimum pad elevation (see civil plans for details).

1) Front Yard Drainage

The front of the building pad has been rough-graded to allow a superior porch relationship to the street. For finished grading, the LWDRC shall require a minimum height differential between average front sidewalk elevation and finished floor of 1'-0" and a maximum of 2'-6". It is encouraged that the porch finished elevation be the same level as the finished floor. If steps are necessary they should be located where the entry walk intersects sidewalk (see Figure 24 and Planting in Front Yards section). Small retaining walls are allowed.

Figure 24: Grading Relationship: House to Street



2) Plantings and Drainage

See Appendix for percolation test requirements for all plantings. All street trees shall have supplemental underground drainage system connected into an adequately-sized gravel sump pit or the storm sewer system.

D. Maintenance

All landscaping must be maintained according to the *Covenants, Conditions and Restrictions* of Laguna West.

1) Public Property

In various identified public areas such as parks, major arterial boulevards, lakeside promenades, etc., maintenance shall be by the Homeowners' Association. Maintenance responsibility shall be transferred, from parcel developer to the Homeowners' Association, only when an acceptable written certificate of inspection is issued by Homeowners' or parcel developer's landscape architect.

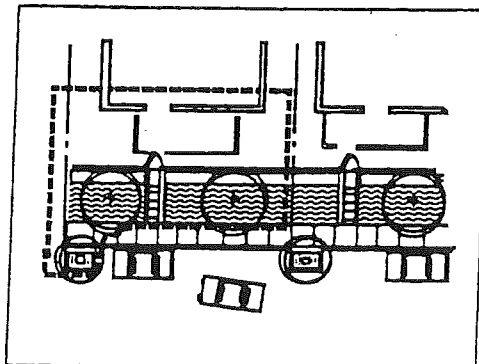
Public areas, such as split sidewalks and street tree wells, that are adjacent to private property, will be the responsibility of the adjacent homeowner for irrigation and care. If homeowner or parcel developer fails to care for landscape, they will be held responsible for replacement (at average size of surrounding plant material). Demise of plant material due to acts of god and vandalism are reasonably the responsibility of the community as a whole, and cost to replace shall be the responsibility of the Homeowners' Association.

2) Private Property

The goal in the design of the private landscape is to limit the use of water-intensive plant material and to promote the choice of drought-tolerant plant materials. All landscape plans shall be prepared by landscape architects who are familiar with the use of low-water-use plant materials. The landscape design shall be attractive and carefully constructed to reduce maintenance burden over time. Plan shall limit the lawn to use areas only, use a variety of groundcovers, mulches, seasonal displays of shrub massings, etc., and be consistent with the *Sacramento County Water Conservation Ordinance*.

Maintenance of private property landscape materials and irrigation systems are the responsibility of the individual homeowner and shall meet normal community standards (see Figure 25).

Figure 25: Private Maintenance of Public Property



3. FENCES, ENCLOSURES AND OTHER STRUCTURES

~~A.~~ Fences

It is the LWDRC's intent to encourage varying fence patterns and types within a strong common street structure. Fence design, finish and materials are to be approved by the LWDRC. Materials used in fence construction may be the type used in the architecture of the homes, such as wood, masonry or wrought iron. No cyclone or wire fencing will be allowed. All fence heights are measured from 6" below finished floor of house.

Wooden fences shall be constructed out of a minimum of 75 percent Western Red Cedar or Redwood. All wooden fencing visible from public areas shall have continuous top and bottom rails with vertical plank panels, and shall be stained with a semi-transparent stain comparable to Olympic #901 Grey or another neutral color compatible with the home and subject the approval of the LWDRC.

Fences facing public ways (streets, sidewalks and parks) may be required to have concrete block columns located intermittently along the length of the fences and at corners and end points (see "Walls Along Roadways and Public Spaces").

All fencing and/or walls visible from the lake, the public right-of-way and/or any other public space must be completed within 60 days of close of escrow or completion certificate, whichever is later.

1) Front Yard

The goal is to create a harmonious streetscape and allow diversity. Fence and hedge heights and locations unify diverse elements of the streetscape. If front yard hedges are installed, they shall be maintained at 30" tall. The hedge may be set back and groundcover installed in front (see Figure 26), or the hedge may be installed at back of sidewalk and returned along the property line.

A 3'-0" fence may be erected behind hedge, if desired. The fence's top rail shall be unbroken horizontally across the width of the lot, and the fence and the hedge top shall be a consistent horizontal height along each lot's property line. Fence shall be a minimum of 50 percent open to provide visibility between the front yard and the public street.

For corner lots, front yard fences may be adjusted to 6'-0" for one side yard service area. Fence shall be softened with non-invasive vine to grow on fence.

All fencing shall be required to have an area in front for landscaping.

2) Side Yard

Fences up to 6'-0" are allowed except within the front setback and landscape structure setbacks. Within these setbacks the fence shall be no greater than 3'-6" in height. Side yard fences shall be subject to and consistent with adjacent front and back fence for height, material and colors (see Figure 27).

Exposed side yard fences must be planted with non-invasive vines to grow on fence. Plantings shall be one gallon minimum size, planted 5' on center along length of fence.

Figure 26:
Front Enclosures - Setback Hedge Option

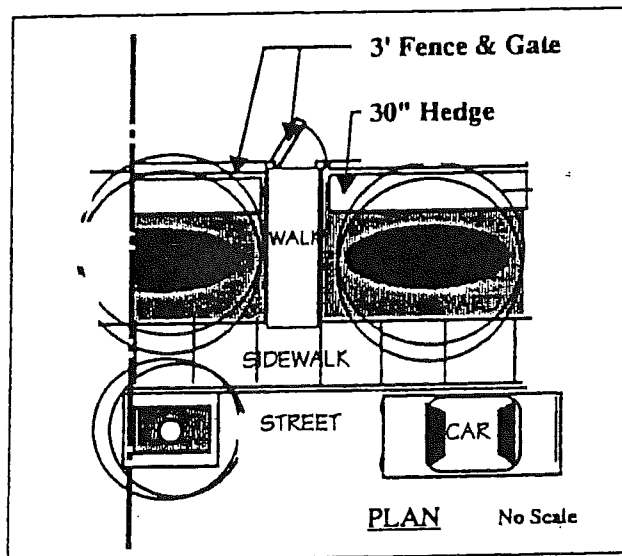
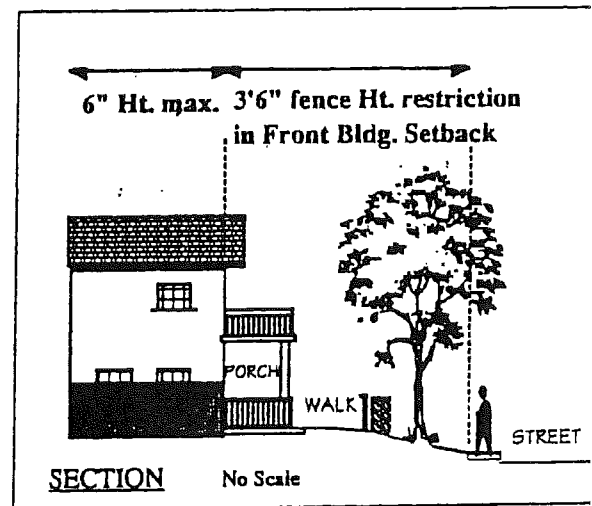


Figure 27:
Side Yard Fence Heights



3) Rear Yard

Rear yard fences of up to 6'-0" in height are allowed in all cases, except along the lake edge and public promenade areas. The goal is to create privacy for neighbor's back yards while keeping open the public view corridor.

Rear yard fences along the lake edge and public promenade, and side yard fences within the special rear yard setback shall be designed under the front yard fence requirements described above.

Alley fences shall be no more than 6'-0" in height, and must be coordinated to have unified design and material for the run of the alley.

4) Lake Edge

Lake edge rear yard fences shall be no greater than 5'-0" in height within the first 15'-0" of the 25'-0" building setback distance from the bulkhead, and may be increased to 6'-0" thereafter (see Figure 28). The LWDRC may prohibit fencing altogether within the 15'-0" setback. The fence shall be largely transparent within this 25' setback and shall be approximately 80 percent open. For example, a painted tubular steel fence with 1" square slats would be 80 percent open if slats are spaced to 4" gaps.

For lakefront homes, side yard fencing may continue down to the bulkhead. Beyond the 25' setback line, fence may be solid and a normal 6'-0" side yard fence height.

Working plans must be submitted for approval to the LWDRC to ensure that fencing does not structurally impact the bulkhead. All fencing must comply with the design criteria stated in item 5-D, in terms of height and design. All metal fencing must be painted black. All wood fencing must be stained in Olympic 901 Grey; the LWDRC may allow other colors if compatible with the surrounding homes.

5. Public Promenade

Public promenade fences shall be no taller than 3'-6" from top of secondary bulkhead to rear facade of house. Rear yard fences on public promenade shall be of a post-and-cable design, with the wooden posts either a minimum of 75 percent Western Red Cedar or Redwood, and a continuous top rail or other unifying design element. Fence shall be stained with semi-transparent stain as described above and be 50 percent open within the setback. This is intended to be a unifying element of the streetscape; other materials used in architecture may be incorporated, upon approval of the LWDRC (see Figure 29).

B. Gates

The LWDRC shall determine when and where gated access is required. Wrought iron or quality wood gates shall be provided to allow access from yards to public ways.

Gates may be installed across entry walks at a maximum height of 3'-0" and may be attached to adjacent fence or secured to freestanding posts.

Figure 28:
Rear Yard Height Setbacks

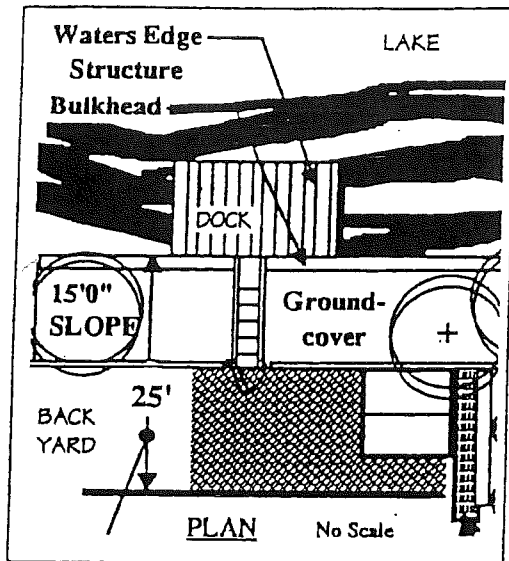
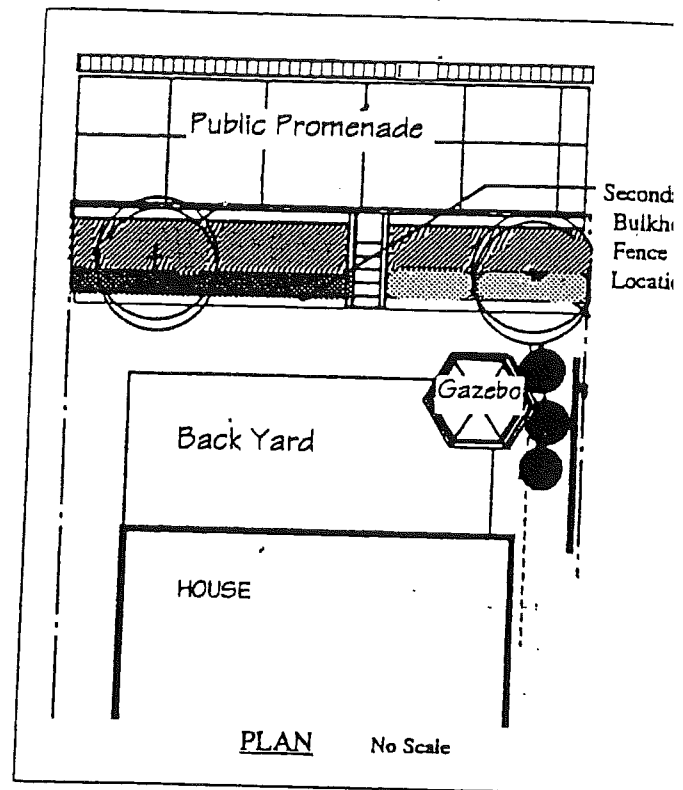


Figure 29:
Rear Yard Fence at Public Promenade



C. Landscape Structures in Public Views

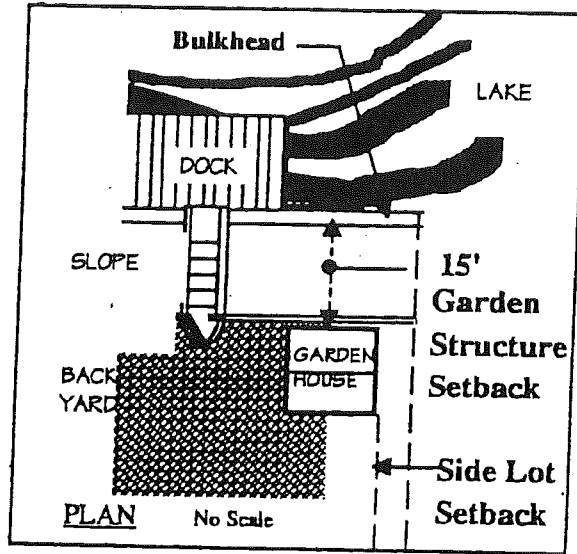
Generally, all additional structures such as gazebos, arbors and summer houses, shall conform to pertinent County standards and the Single-Family Design Guidelines for setbacks and materials. All structures shall be approved by the LWDRC.

Structures shall conform to a 5'-0" adjacent property line side setback for RD-5 and RD-7 lots, and 7'-6" for RD-4 lots. ~~A 15'-0" setback distance is required from back of bulkhead as in the case of lakeside lots (See Figure 30).~~

Design of structure shall be no higher than 12'-0" to tallest point and, at time of installation, parcel developer or homeowner shall build or plant adjacent privacy screens to a height of 6'-0" if located within 10'-0" of the property line. The goal is to protect privacy, when sitting in the structure, while not violating views to or from the public landscape.

No additional setback is required for landscape structures on public promenades. Right-of-way at promenade is landscaped with band of groundcover and hedge at secondary bulkhead. Property owner may install a fence no greater than 3'-6" in height at top of secondary bulkhead, or a 30" hedge. Fence height restriction continues from property line to rear facade.

Figure 30: Landscape Structure Setbacks



1) Lake Edge Structures

Docks and other structures at the lake edge shall be a maximum of 15'-0" horizontal distance out from bulkhead, into water. Vertical elements are limited to 4'-0" from normal level of lake or 3'-6" above top of bulkhead. Dock railings shall conform to transparency restrictions for fences. Materials shall be of durable nature and consistent with overall surroundings and architecture. All lake edge structures shall be approved by the LWDRC (See Figure 31). The docks for an entire subdivision lake frontage shall use a consistent modular assembly from a single manufacturer. Dock designs shall be comparable to those built on the west island at "Lakeshore."

Boats and other recreational vehicles in the lake must be tied to docks and not to any other structure or landscaping element.

2) Alley Structures and Sight Lines

Entry arbors may be used where the driveway meets the walk off the alley. These overhead structures shall be a maximum of 8'-0" in height. Actual layout of the arbor and adjacent fence shall consider safe sight line clearances to alley when backing out of drive in car. The LWDRC strongly encourages a zigurat or zigzag fence configuration where it meets drive. Install complementary plantings (see Figure 32).

Figure 31: Landscape Structures at Lake Edge

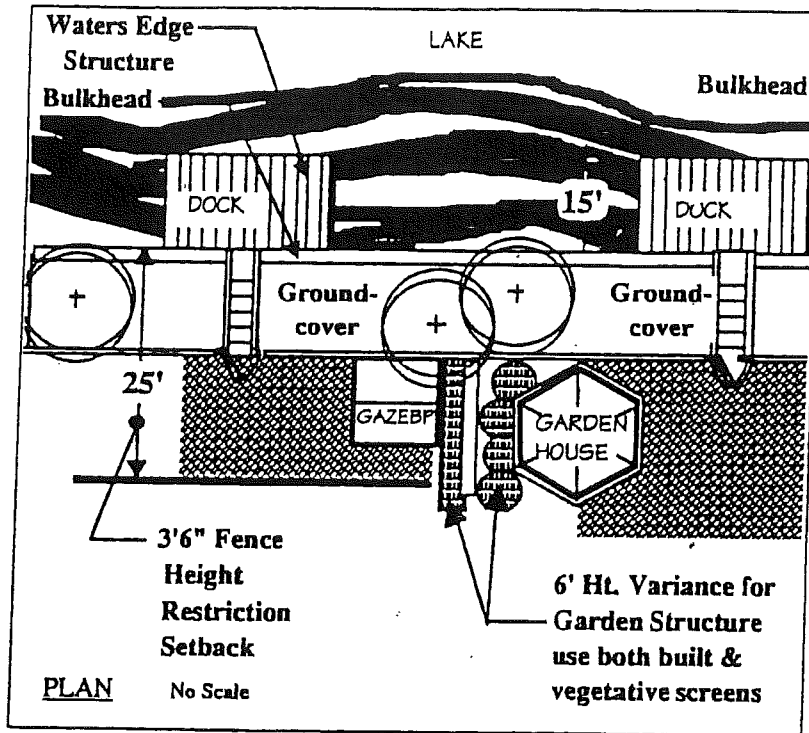
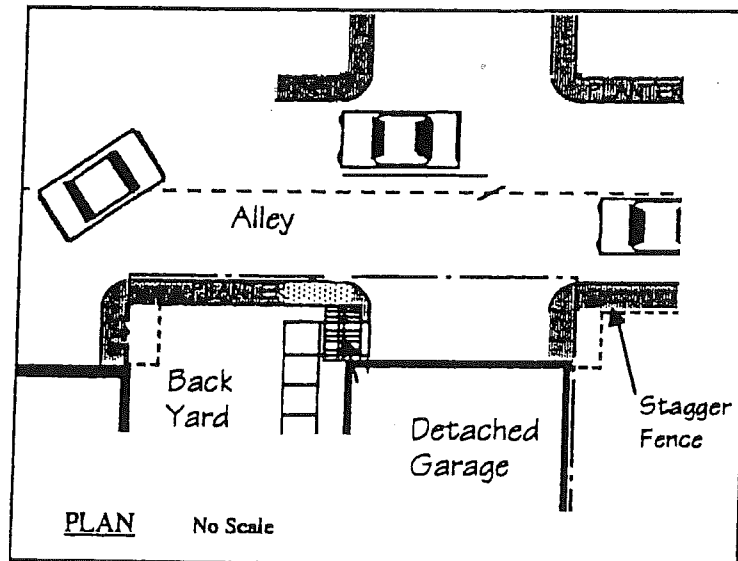


Figure 32: Alley Entry Structure



D. Walls Along Roadways and Public Spaces

In order to create a consistent masterplanned community character, the design of masonry walls throughout Laguna West shall comply with the following:

The intent of these Guidelines is to create walls and monuments which reflect the already established community design and which conform with those materials and colors used in the wall along Laguna Boulevard, the walls at lakeside cul-de-sacs, the monuments and buildings within the town center, and the other existing major focal points such as Apple Computer.

Walls shall terminate in columns or an acceptable design element. Where columns are used, they shall be two-foot-wide-by-two-foot-deep concrete block columns which extend beyond the top of the wall. Columns shall be spaced approximately to achieve an attractive design. Entries shall be of a quality material approved by the LWDRC (redwood, wrought iron, etc.) and shall be gated by columns or other announcement. Walls shall be no higher than five feet (5'-0") from lot grade.

Walls shall be constructed of concrete block with alternating courses of splitface and smoothface block. The preferred combination shall be splitface block in the Baselite Dixon #225 (gray) and smooth block in Baselite Dixon #331 (peach). Other combinations and design arrangements may be considered if consistent with the overall community design.

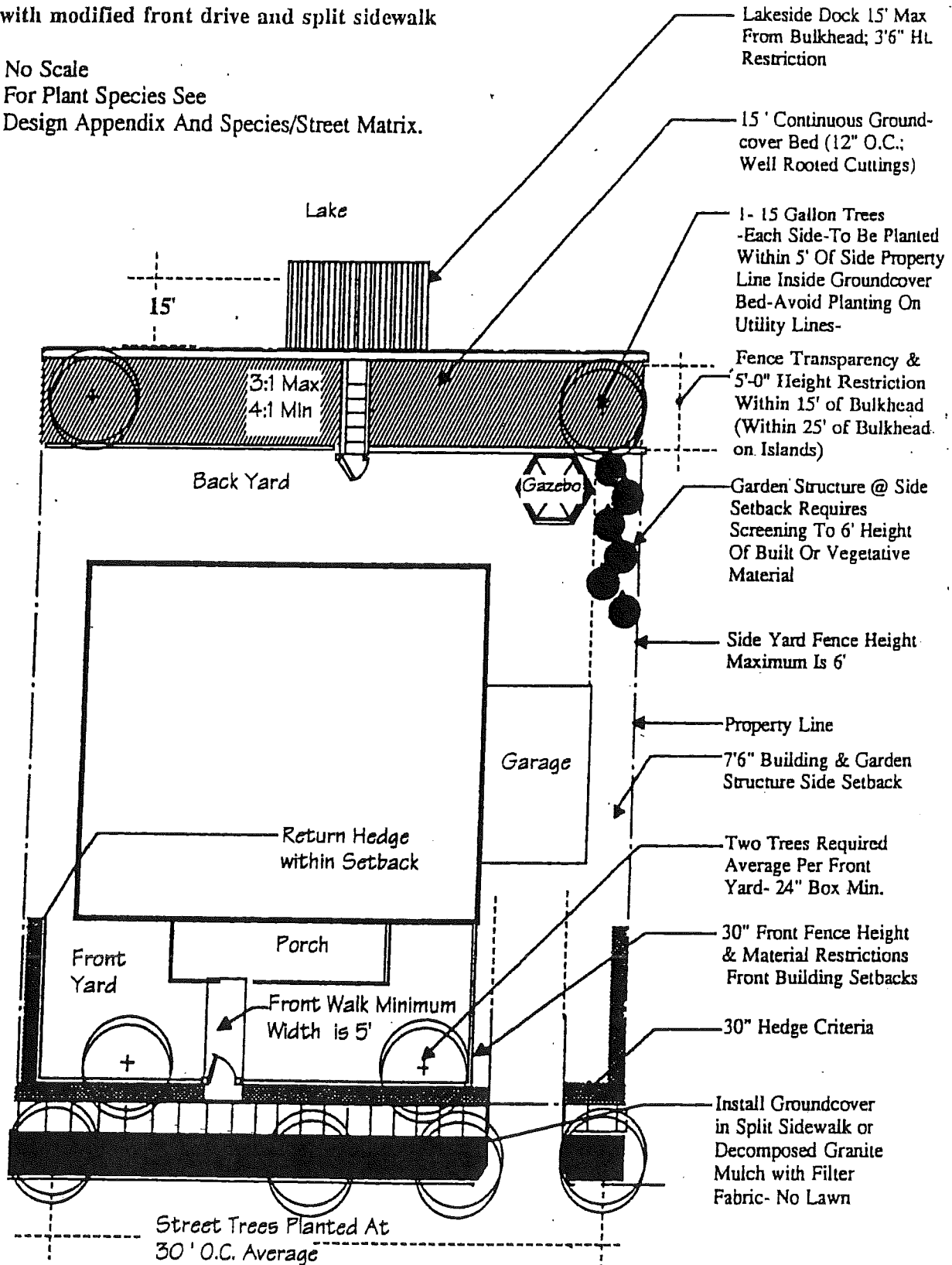
Concrete columns shall be constructed with alternating courses of splitface and smooth block as described above.

Walls shall be capped with two-inch (2") concrete masonry units. Columns and monuments shall be capped with pre-cast concrete caps. Such colors shall be approved by the LWDRC and shall match the coloration and design of the wall (i.e.: gray concrete caps on monuments and columns).

4. LANDSCAPE LOT TYPOLOGIES

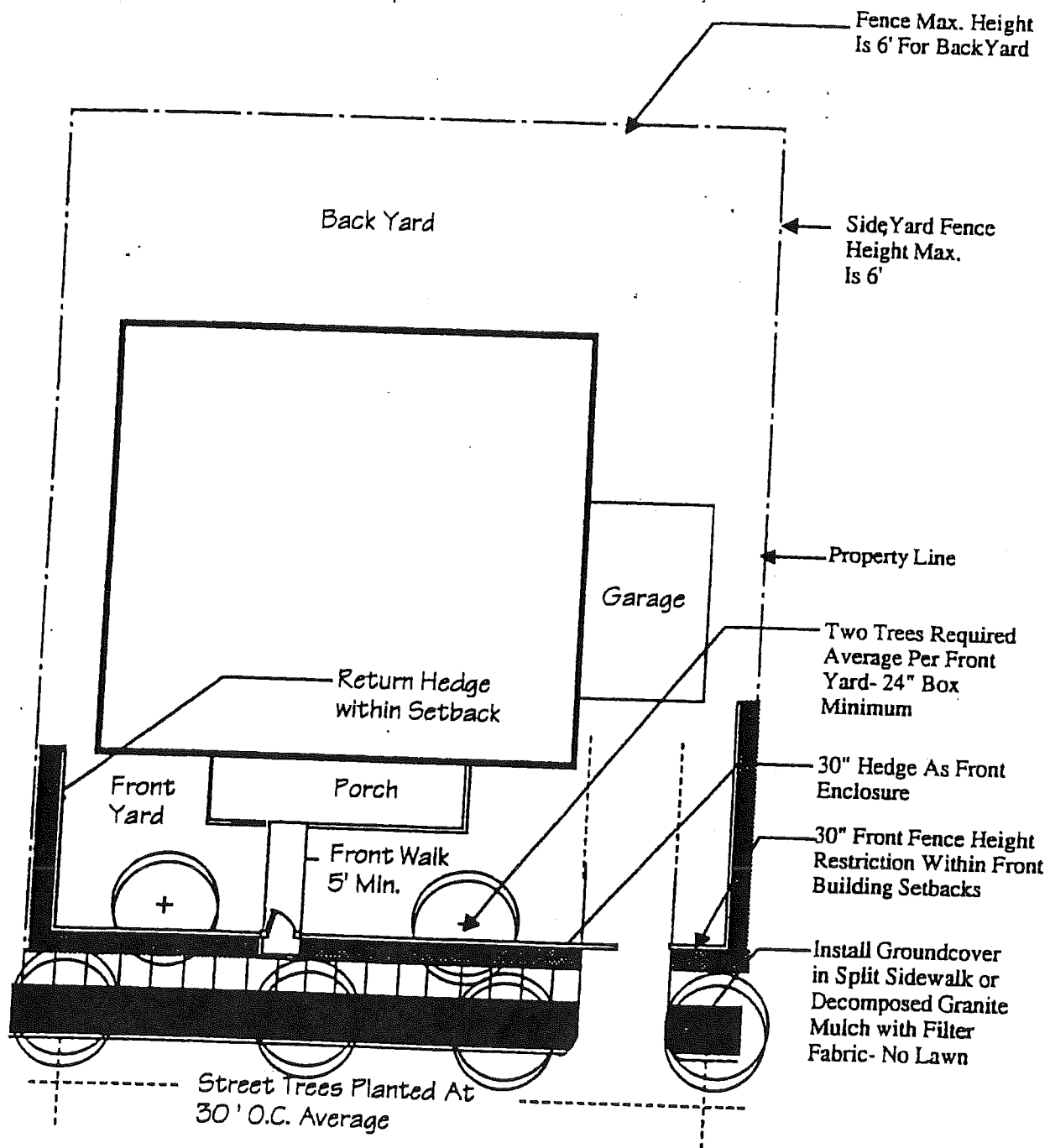
RD-4 Lakeside Lots
with modified front drive and split sidewalk

No Scale
For Plant Species See
Design Appendix And Species/Street Matrix.



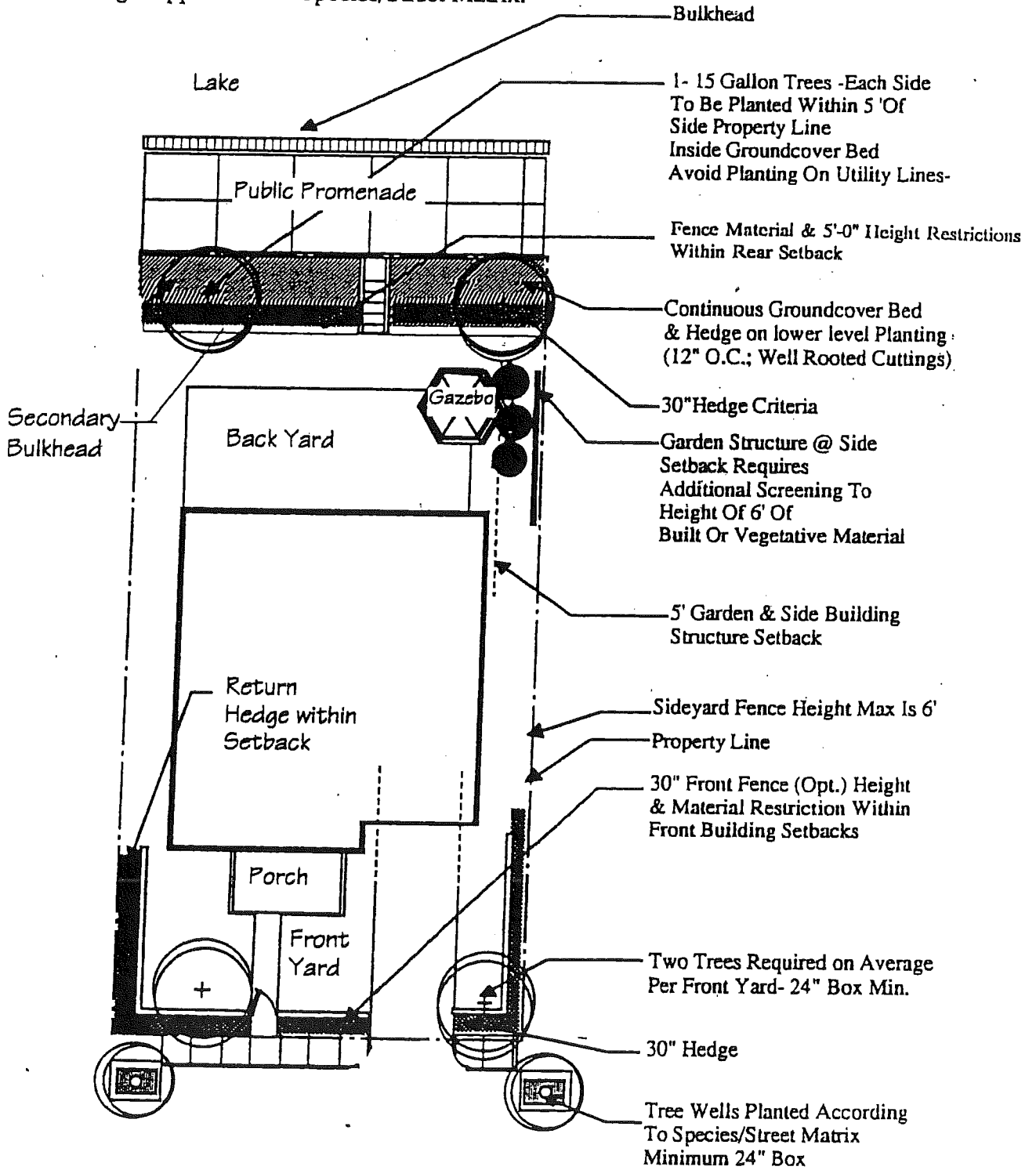
**RD-4 Interior Lots
with modified front drive and split sidewalk**

No Scale
For Plant Species Type Reference
Design Appendix And Species/street Matrix.

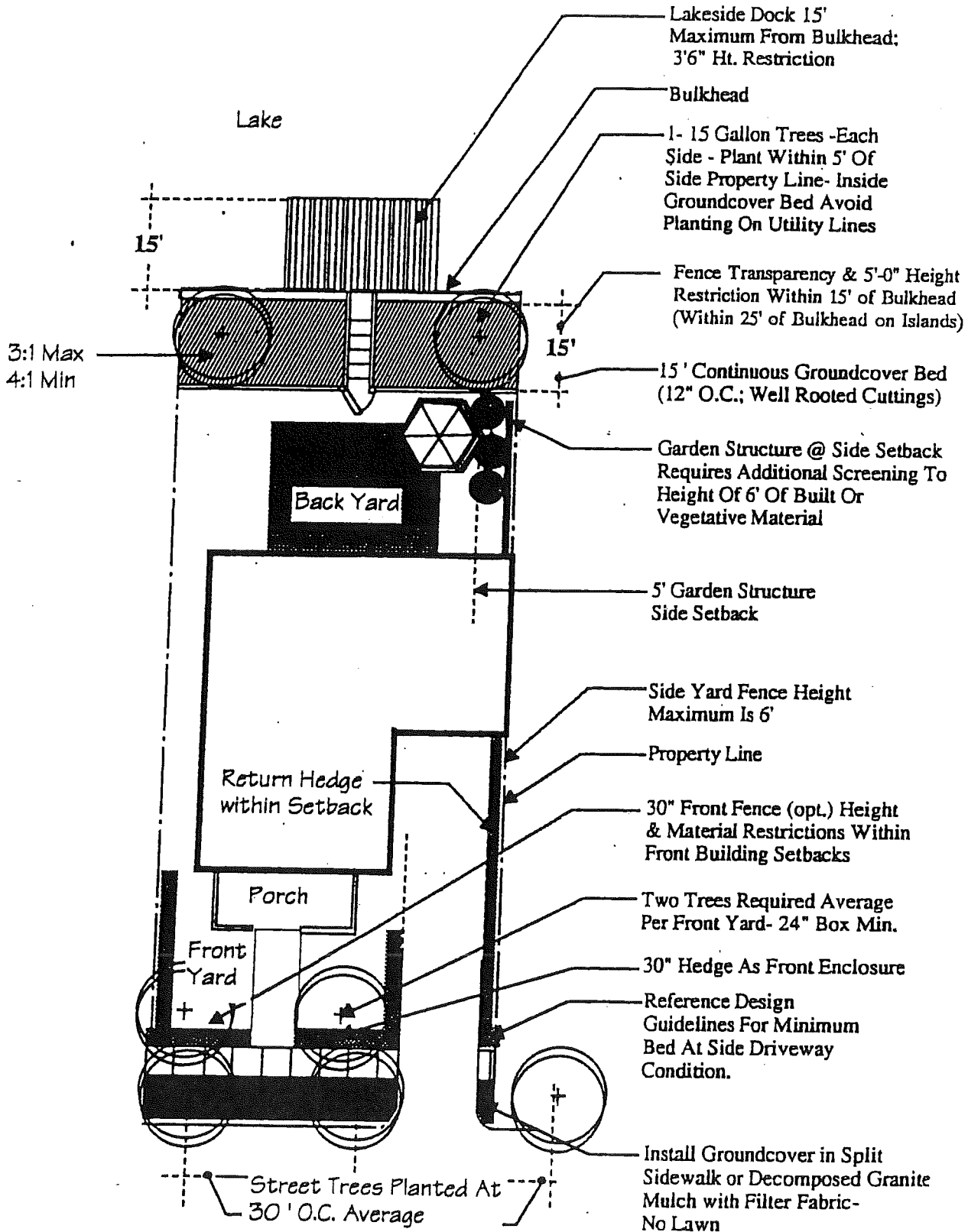


RD-4 Public Frontage Lots
Front drive example with street tree wells

No Scale
 For Plant Species Type See
 Design Appendix and Species/Street Matrix.

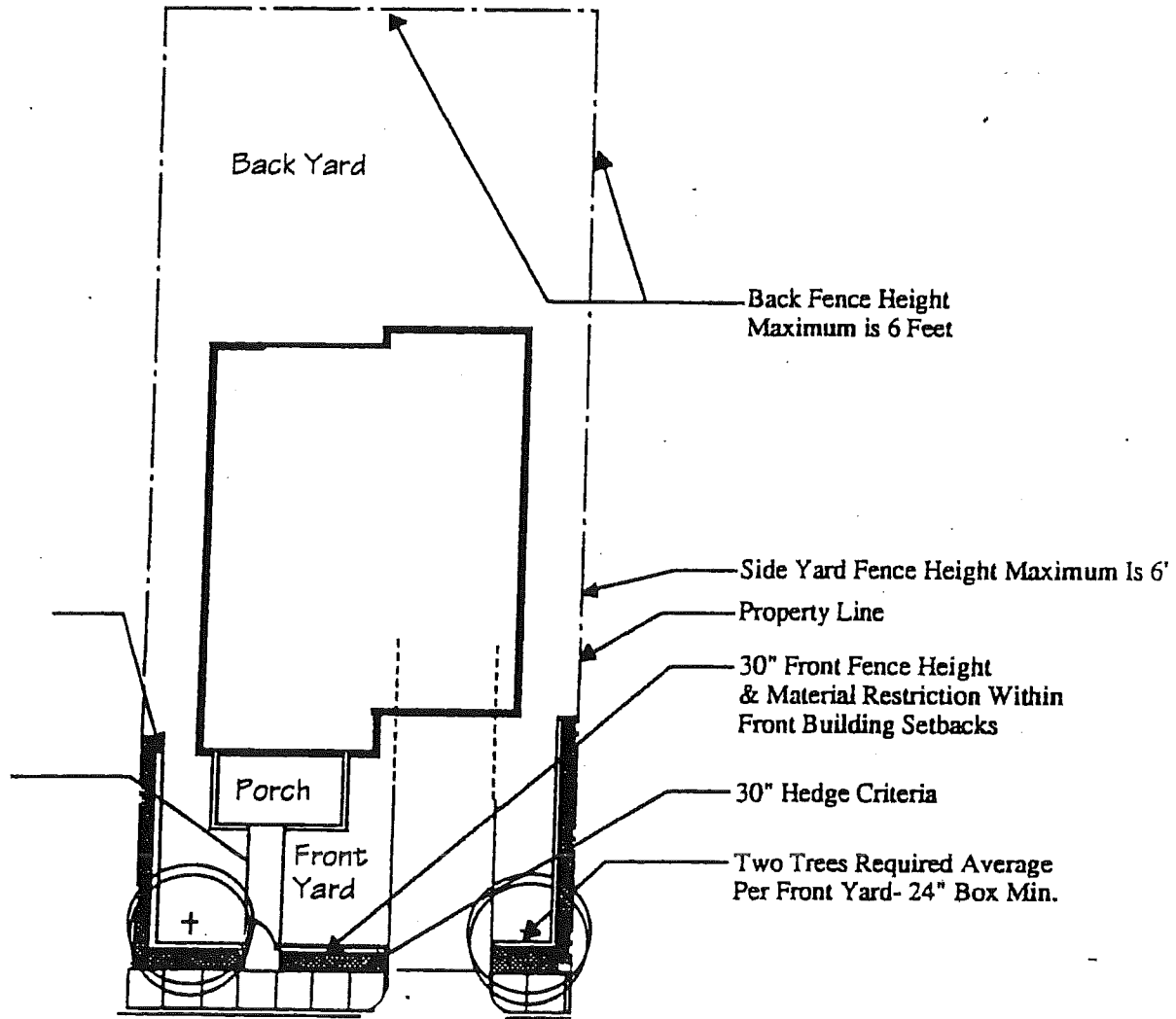


RD-5 and RD-7 Lakeside Lots with Split Sidewalk
Zero lot line and side drive example



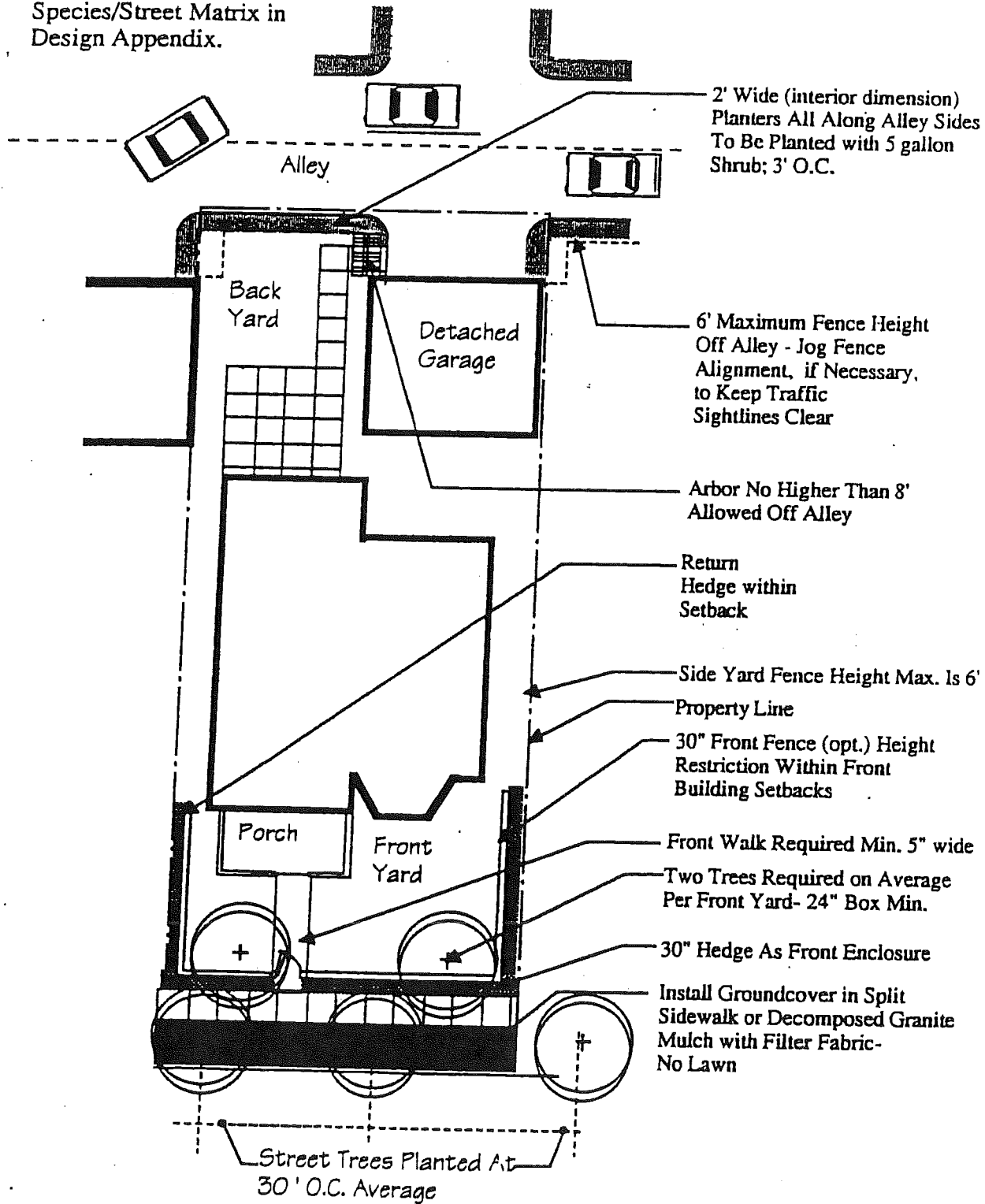
**RD-5 and RD-7 Park Frontage Lots
typical front drive example**

No Scale
For Plant Species Type See
Design Appendix And Species/Street Matrix.



RD-5 and RD-7 Alley Access Lots with Split Sidewalks
detached garage example

No Scale
For Plant Species Type See
Species/Street Matrix in
Design Appendix.



SECTION 5: LANDSCAPING APPENDIX

1. LIGHTING

A. Street Lighting

All streets within the area shown within the solid line on the Exhibit attached, which includes all single-family residential, multi-family residential and the town center, must utilize the same street lighting fixtures as are currently installed throughout the community (see Exhibit B).

B. Exterior Home Lighting

Residential lighting fixtures should be unobtrusive and complementary to the architectural design of the house. When exterior residential fixtures are viewed from the street, lake, or neighbor's yard, there should be observable glare. All exterior residential fixtures must be approved by the LWDRC.

C. Exterior Landscape Lighting

Limited to low, indirect sources. All fixtures should be placed in a manner to avoid glare when observed from the street, lake and neighbor's yard. Fixture type, number and placement must be approved by the LWDRC.

1) Up-Lighting

An above-grade shielded accent light is ideal if it doesn't produce glare and the fixture is concealed in landscaping. To prevent glare, fixtures should be aimed away from observers.

When glare is unavoidable from an above-ground fixture, a below-grade light must be substituted. Junction boxes must be placed below ground if they are readily visible from the street. Well lights will not produce glare when the object being lit is viewed from any direction.

2) Driveway and Path Lighting

Driveway and path lights should have a high degree of light shielding to prevent glare, which inhibits full view of landscape.

3) Spotlighting

If special architectural elements or landscape objects are spot-lit, fixtures should be concealed and glare eliminated. Roof or post-mounted directional floodlights are not acceptable.

4) Security Lighting

Fixtures used exclusively for security lighting must be approved by the LWDRC.

5) Light Color

Incandescent and other types of light which enhance the natural color of landscapes are acceptable. Colored lights (red, blue, green, yellow, etc.) are generally not acceptable.

2. **STREET SIGNS**

Within the same solid line area, which includes all single-family residential, multi-family residential and the town center, street signage must be of the same design as is currently installed throughout the community (see Exhibit C).

EXHIBIT A

Dotted line indicates "major streets." All other streets within solid line are considered "minor streets."

LAGUNA WEST

County of Sacramento,

California

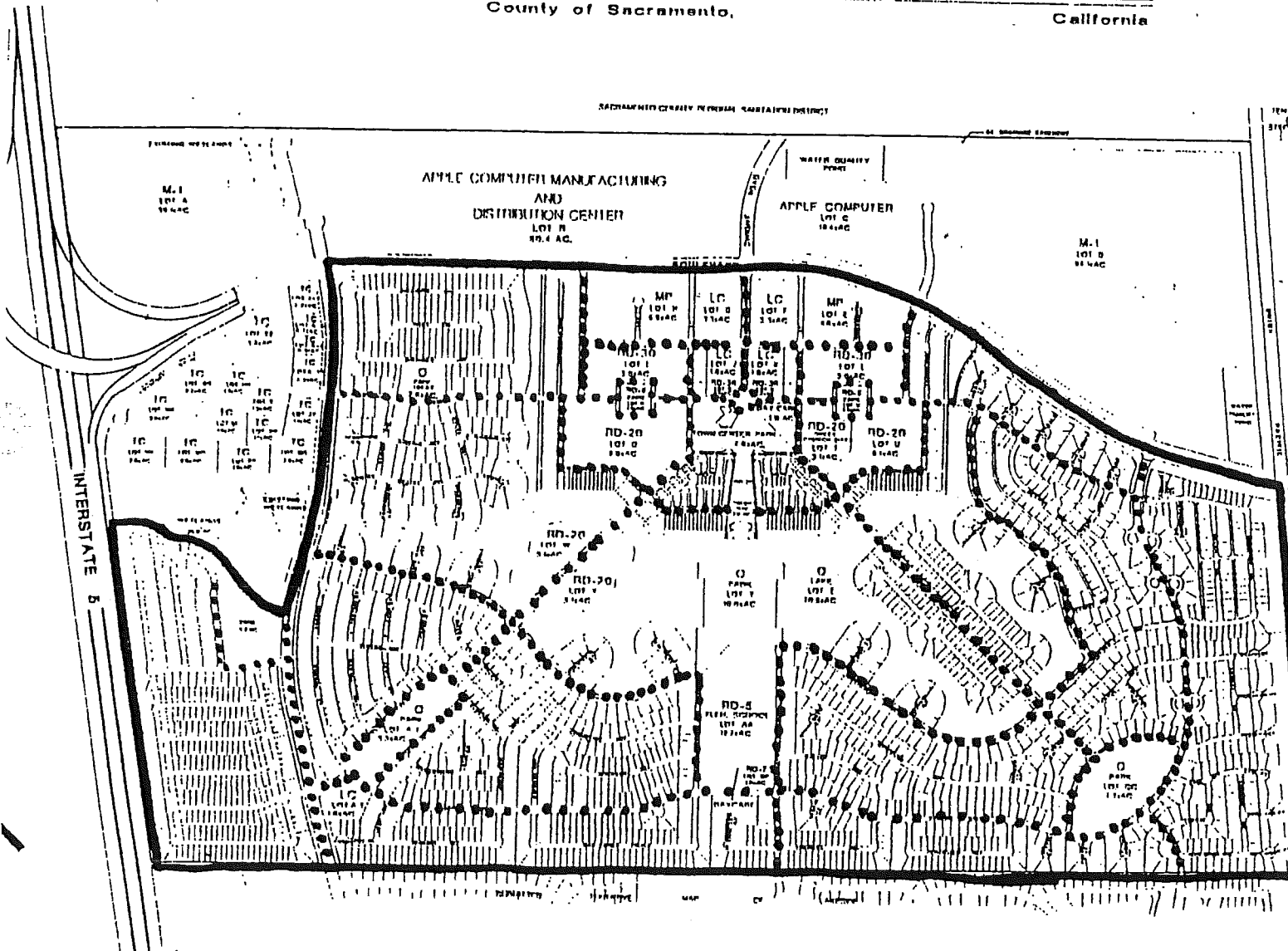
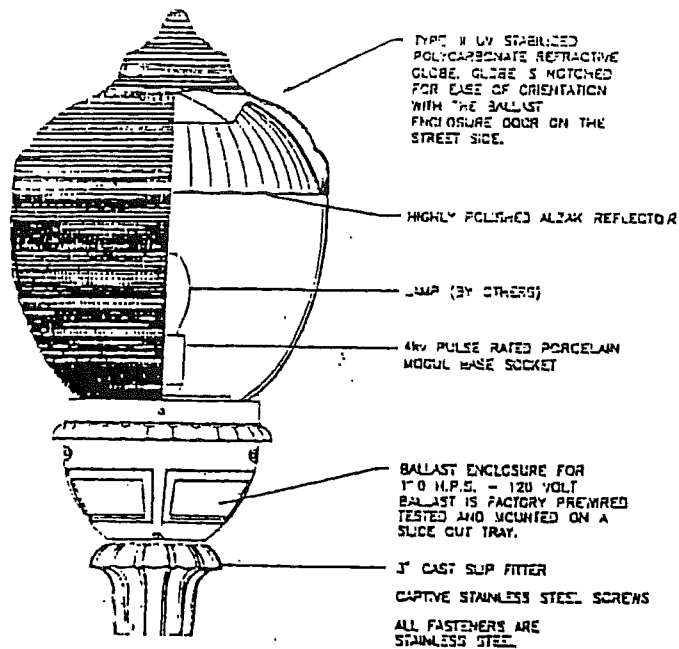


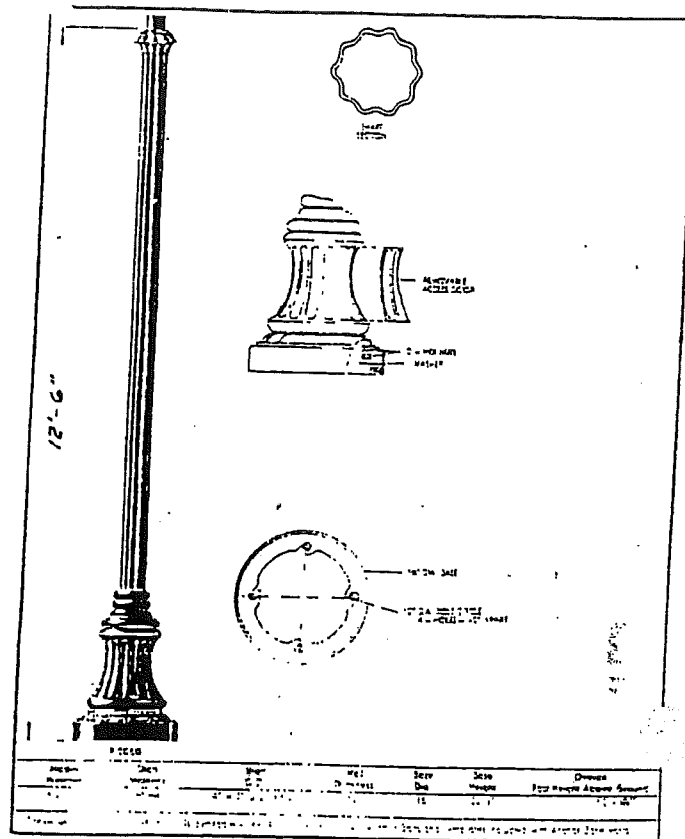
EXHIBIT B STREET LIGHT SPECIFICATIONS



CAT.# V732A-XX-100-HPS-REG

HADCO		100 lbs 100 lbs 100 lbs
TITLE: STANDARD V732 AGENCY: STATE OF CALIFORNIA		
SCALE: 1"=4'	DATE: 3.17/85	DESIGNED BY: J.C.M.

LIGHT FIXTURE DETAIL



POLE DETAIL

PAINTING SPECIFICATION

PAINTING

Painting of electrical equipment and materials shall conform to the provisions in Section 59, "Painting", of the State of California Standard Specifications, dated January 1988, with the following additions and modifications.

1. Paint material for electrical installations, unless otherwise specified, shall conform to the provisions in Section 91, "Paint", of the State of California Standard Specifications.
2. In lieu of the temperature and seasonal restrictions for painting as provided in Section 59, "Painting", of the State Specifications, paint may be applied to equipment and materials for electrical installations at any time approved by the Engineer.
3. If an approved prime coat has been applied by the manufacturer, and it is in good condition, the first primer application by the Contractor will not be required.
4. After erection, all exterior surfaces shall be examined for damaged primer and such damaged surfaces shall be cleaned and spot coated with primer.

Surface Preparation/ Cast Aluminum

1. For atmospheric or mild exposures metal surfaces shall be prepared according to SSPC-SP7 (Brush-Off Blast Cleanliness).
2. Prepared metal surface should have an anchor profile of not less than two mils as measured by the use of a non-destructive instrument such as a Keene-Tator Surface Profile Comparator.

3. All burrs and weld spatter shall be completely removed. Oil, grease and heavy deposits of surface contaminants shall be removed by solvent or detergent cleaning.
4. All surfaces must be clean, dry, and free of any dirt, dust, chalk, grease, oils, salts, curing compounds, release agents, preservatives and other deleterious materials before application is performed.

Coating Application/Prepared Surfaces.

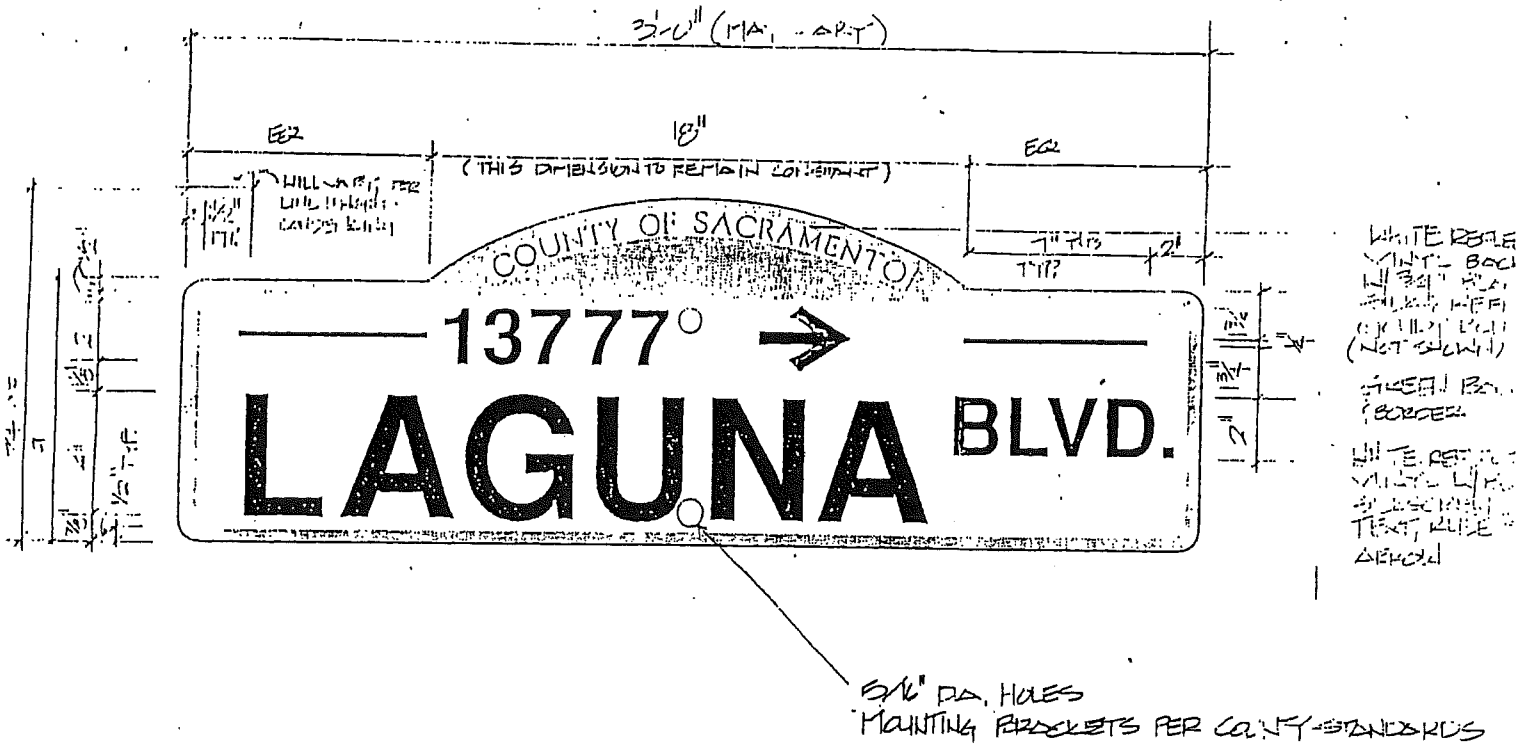
1. Apply one prime coat of a polyamide epoxy, Devco Duwan 201H or equal to obtain a minimum dry film thickness of 4 mils.
2. For field touch up and repair of prime coat, apply one coat of an amine cured epoxy to those damaged areas to a minimum dry film thickness of 4 mils.
3. Finish coat shall be one coat of an aliphatic polyurethane Devco Devthane J59 or equal, to a total minimum dry film thickness of 7 mils.
4. Inspect all sharp corners and edges to insure complete coverage.

Per State of California requirements, all industrial maintenance protective coating primers shall comply to a maximum V.O.C. of 340 g/l (grams/liter) and all industrial maintenance protective coating finished with a high gloss rating (Above 85) shall comply with a maximum V.O.C. of 420 g/l.

Any protective coating supplied shall comply with Proposition 65 regarding cancer causing agents.

The finish coat shall be federal standard color 14516.

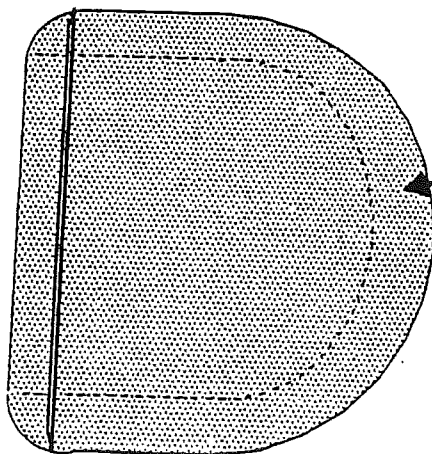
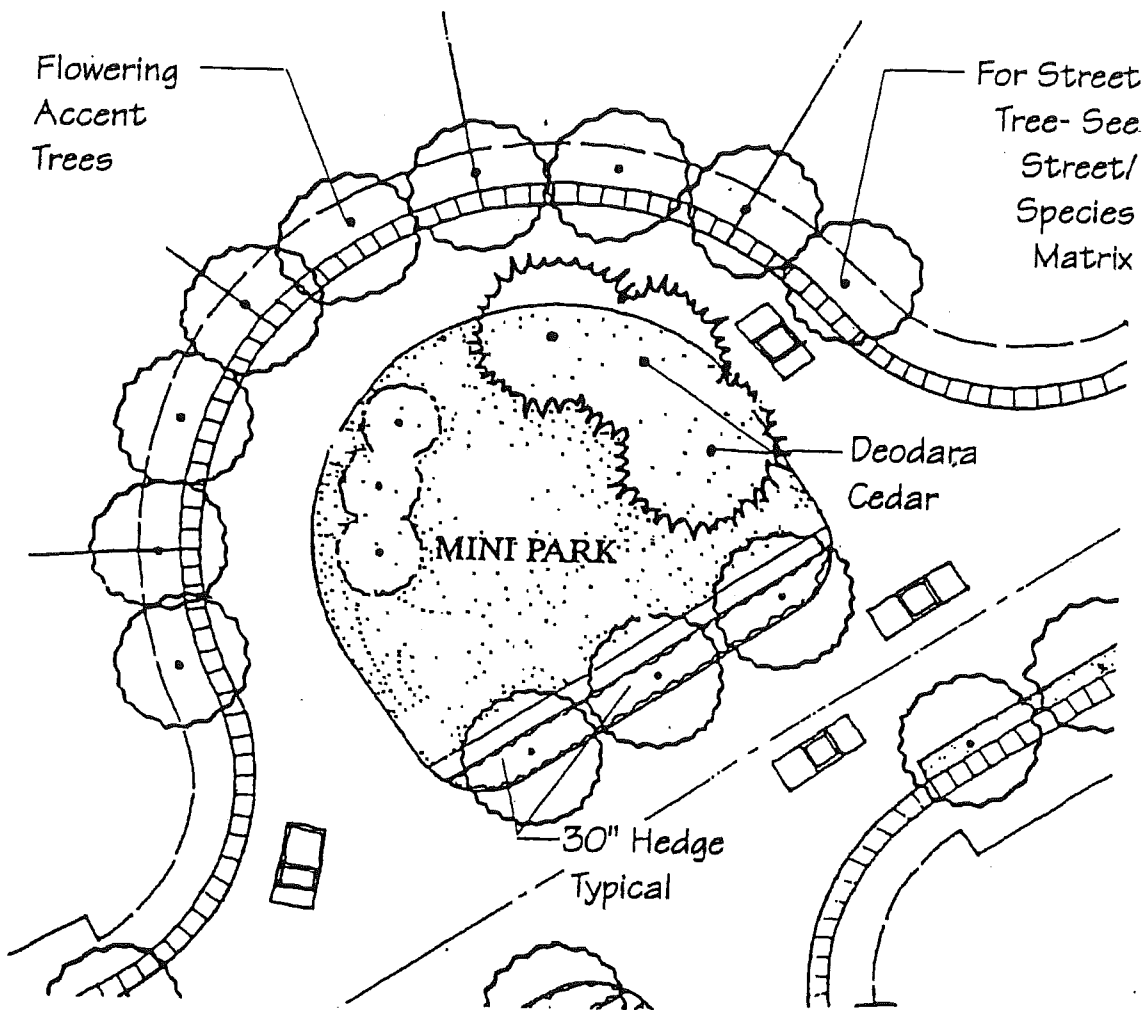
**EXHIBIT C
STREET SIGN SPECIFICATIONS**



- NOTE:**
ALL COUNTY OF SACRAMENTO STANDARDS PREVAIL REGARDING TYPE AND WEIGHT OF MATERIALS (VINYL, SILKSCREEN INK AND METALS), CONSTRUCTION METHODS AND MOUNTING TECHNIQUES.
1. TYPESTYLE TO MATCH COUNTY STANDARDS (NOT SHOWN, NOT AVAILABLE AS COMPUTER FONT).
 2. BACKGROUND COLOR TO MATCH COUNTY STANDARDS (REFLECTIVE WHITE VINYL).
 3. TEXT COLOR TO MATCH COUNTY STANDARDS (BLACK SILKSCREENED).
 4. SIGN LENGTH AND BASIC SIGN PANEL WIDTH TO MATCH COUNTY STANDARDS (3' X 9'). SIGN PANEL TO BE 0.00 GAUGE WITH ROUNDED CORNERS HAVING A RADIUS OF 1/4".
 5. MOUNTING BRACKETS TO MATCH COUNTY STANDARDS.
 6. MOUNTING CONFIGURATION AND STACKING TO MATCH COUNTY STANDARDS (CENTER POLE MOUNT, STACKED).
 7. 1/2" BORDER AND 1/2" ROUNDED TO BE SILKSCREENED TO MATCH 3M TRANSLUCENT REFLECTIVE GREEN.
 8. "COUNTY OF SACRAMENTO" TO BE GOUDY BOLD TYPESTYLE, SILKSCREENED BLACK ON REFLECTIVE WHITE VINYL.

3. MINI-PARK SCHEMATIC

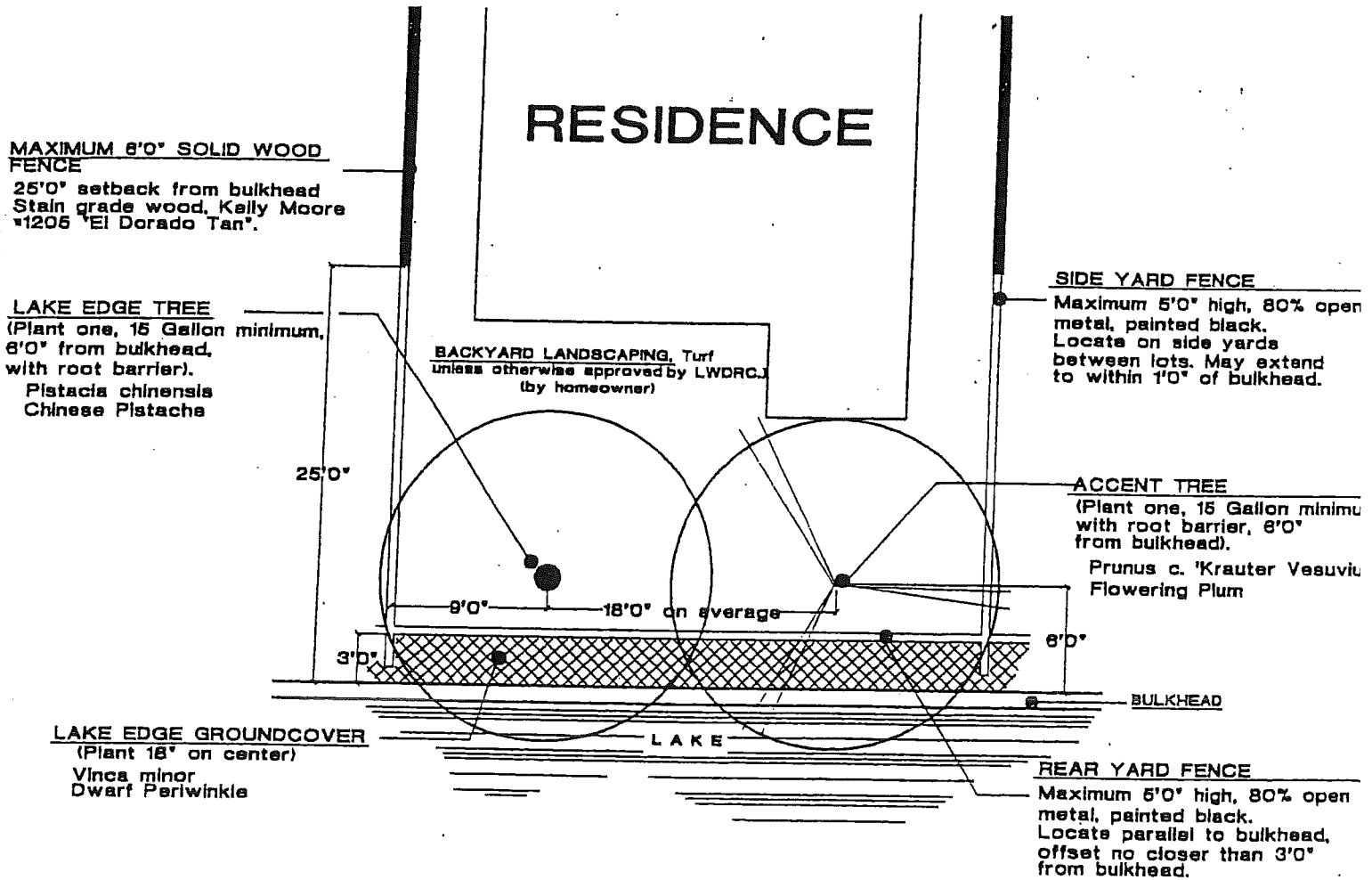
No Scale



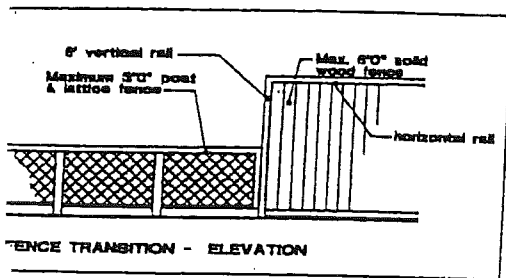
Firelane clearance each side of Park -7' 6" from inside of curb

No Scale

**"Edgewater" (Unit #26), and "LakeFront" (Unit #25) non-promenade
Minimum Landscape Requirements
(for lakefront homes on East Laguna Way, Eames Way, Trumbauer Way, and West
Laguna Way)**



"Edgewater" (Unit #26) and "LakeFront (Unit #25)/promenade
 Minimum Landscape Requirements
 (for lakefront homes on East Laguna Court, East Laguna Way, West Laguna Court and
 West Laguna Way)



RESIDENCE
 (NOTE: Illustrative in typical, home setbacks vary).

BACKYARD LANDSCAPING, Turf
 unless otherwise approved by LWDRG.
 (by homeowner)

MAXIMUM 6'0" FENCE @ SIDE YARD
 To be provided by builder. Solid, stain grade, wood. (See SIDE YARD FENCE notes below).

MAXIMUM 6'0" FENCE @ SIDE YARD
 To be provided by builder. Solid, stain grade, wood. (See SIDE YARD FENCE notes below).

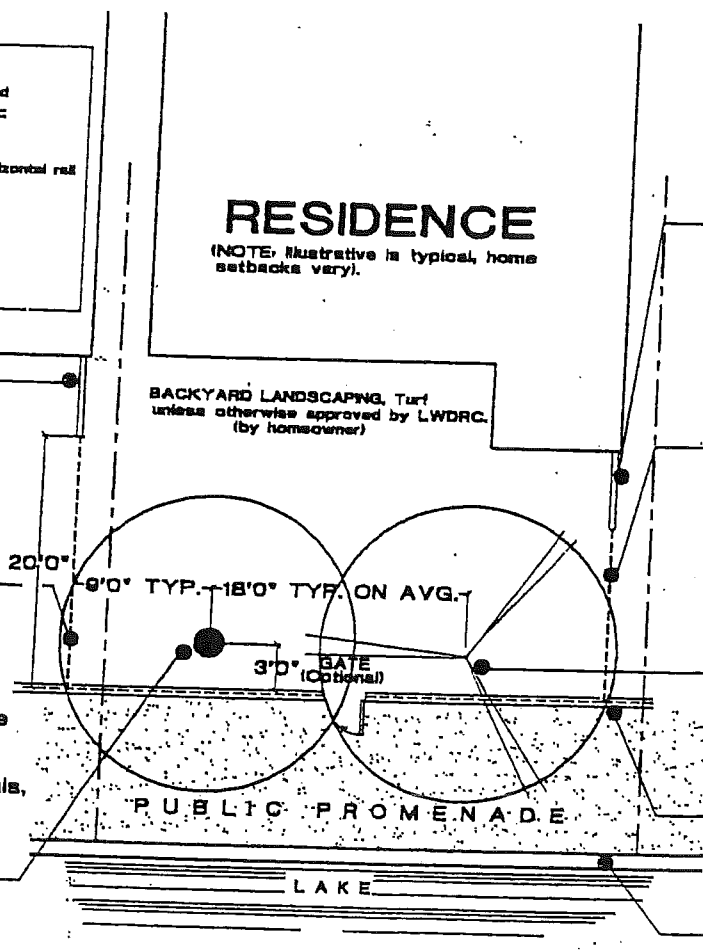
SIDE YARD FENCE
 Maximum 3'0", post & lattice for first 20'0" from fence @ promenade. Beyond 20'0" setback, fence may transition with vertical rail to maximum 6'0" height solid wood fence with top rail. Stain Kelly Moore #1240 P40-3 Seafoam Green. (See elevation upper left). Fence design, location, materials, & color may not be altered.

SIDE YARD FENCE
 Maximum 3'0", post & lattice for first 20'0" from fence @ promenade. Beyond 20'0" setback, fence may transition with vertical rail to maximum 6'0" height solid wood fence with top rail. Stain Kelly Moore #1240 P40-3 Seafoam Green. (See elevation above). Fence design, location, materials, & color may not be altered.

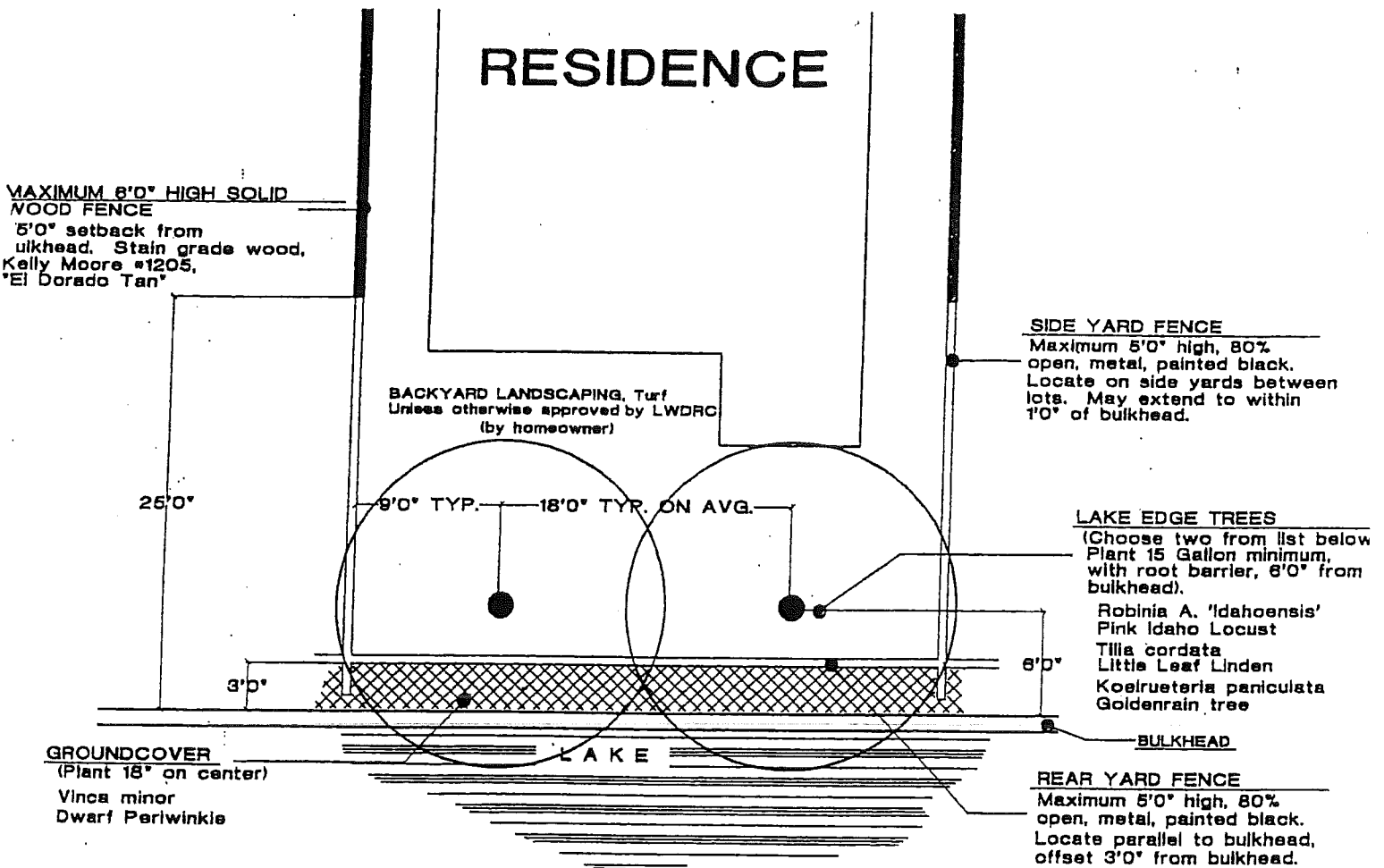
ACCENT TREE
 Plant one, 15 Gallon minimum, with root barrier, 3'0" from fence.
 Prunus c. 'Krauter Vesuvius' Flowering Plum

5'6" FENCE @ PROMENADE
 3'0" post & cable on 2'8" high wooden retaining wall. Post construction by builder and placed to allow optional installation of gates.

PROMENADE TREE
 (Plant one, 15 Gallon minimum, with root barrier, 3'0" from fence).
 Pistacia chinensis
 Chinese Pistache

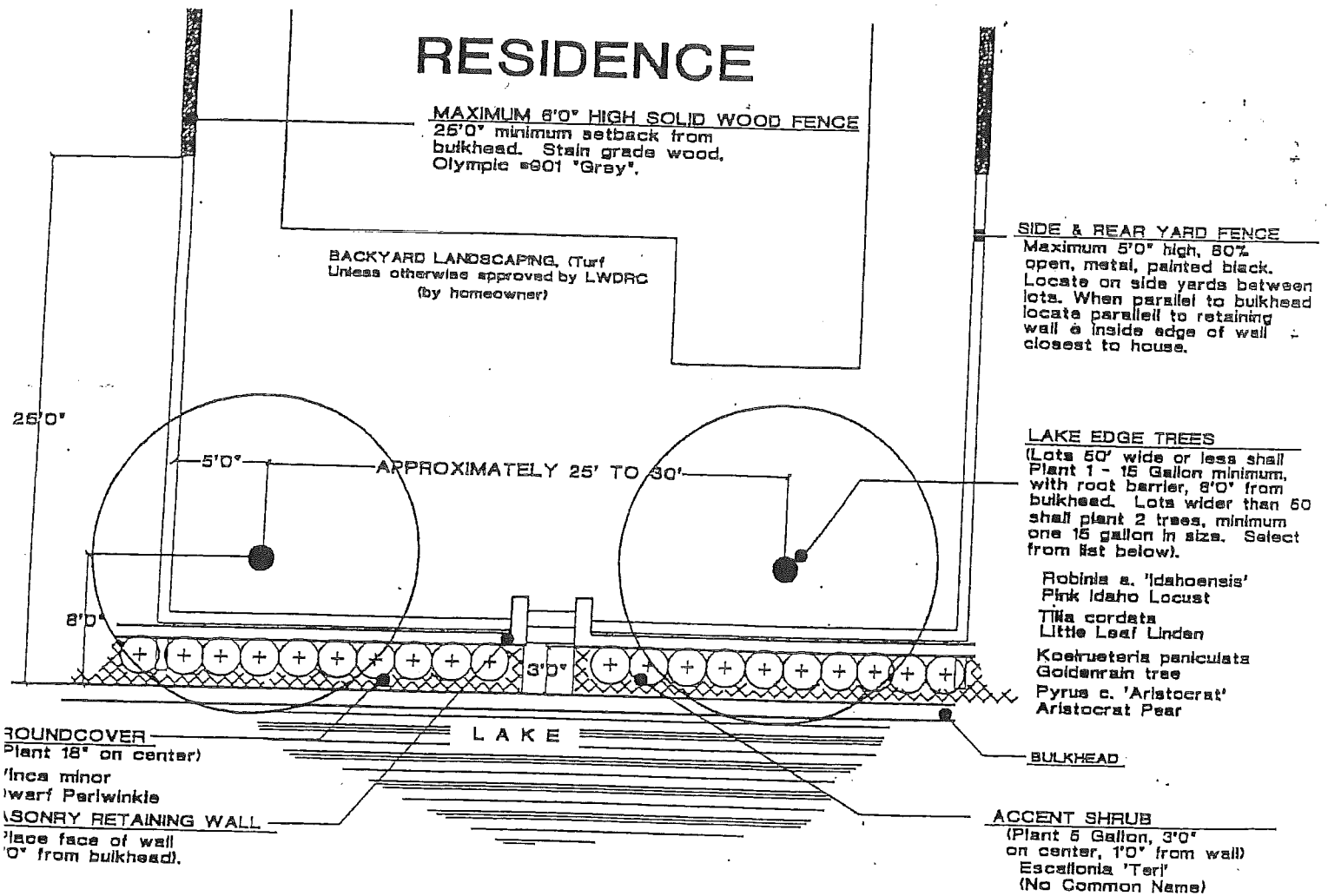


"LakeFront" (west island)
 Minimum Landscape Requirements
 (for lakefront homes on ~~East Bertolani Circle~~ and West Bertolani Circle)
 Hinton



6. LAKE EDGE PLANTING SCHEMATICS

"LakeShore" (east Island) and "Sunset Bay (Unit #23)
 Minimum Landscape Requirements
 (for lakefront homes on Dinwiddie Way, East Island Court and West Island Court)

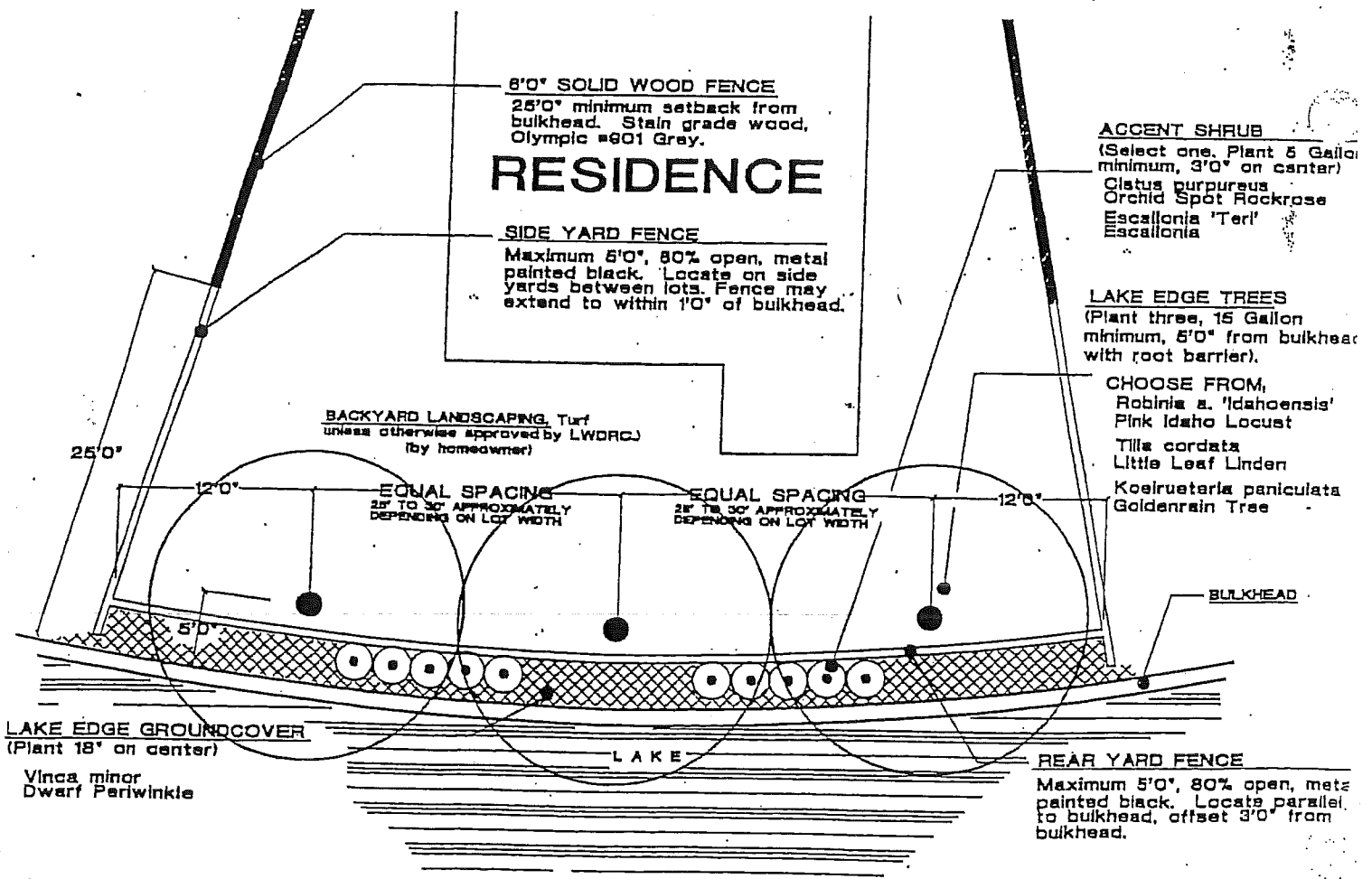


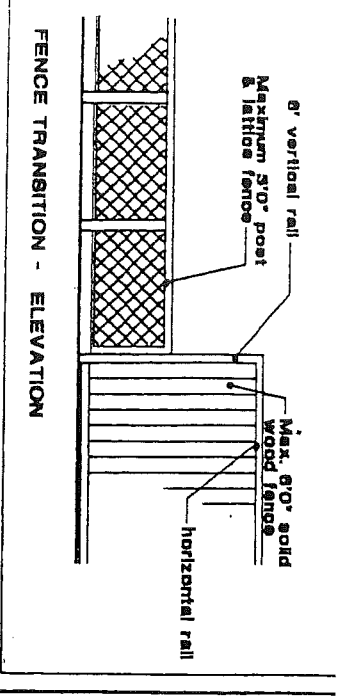
NOTE: No retaining wall on Dinwiddie Way lots, and no accent shrubs required.

Lakefront Custom Lots and Unit #24 (Elliott Homes)

Minimum Landscape Requirements

(for lakefront homes on Agneta Court, Bay Head Court, Beach Haven Court, Bournville Court, Brigantine Court, Cambra Court, Cape May Court, East Neutra Court, East Windrim Court, Haddonfield Court, Havertown Court, Manasquan Court, Monmouth Court, Renwick Avenue, West Neutra Court, and Yorkshipp Court)





RESIDENCE

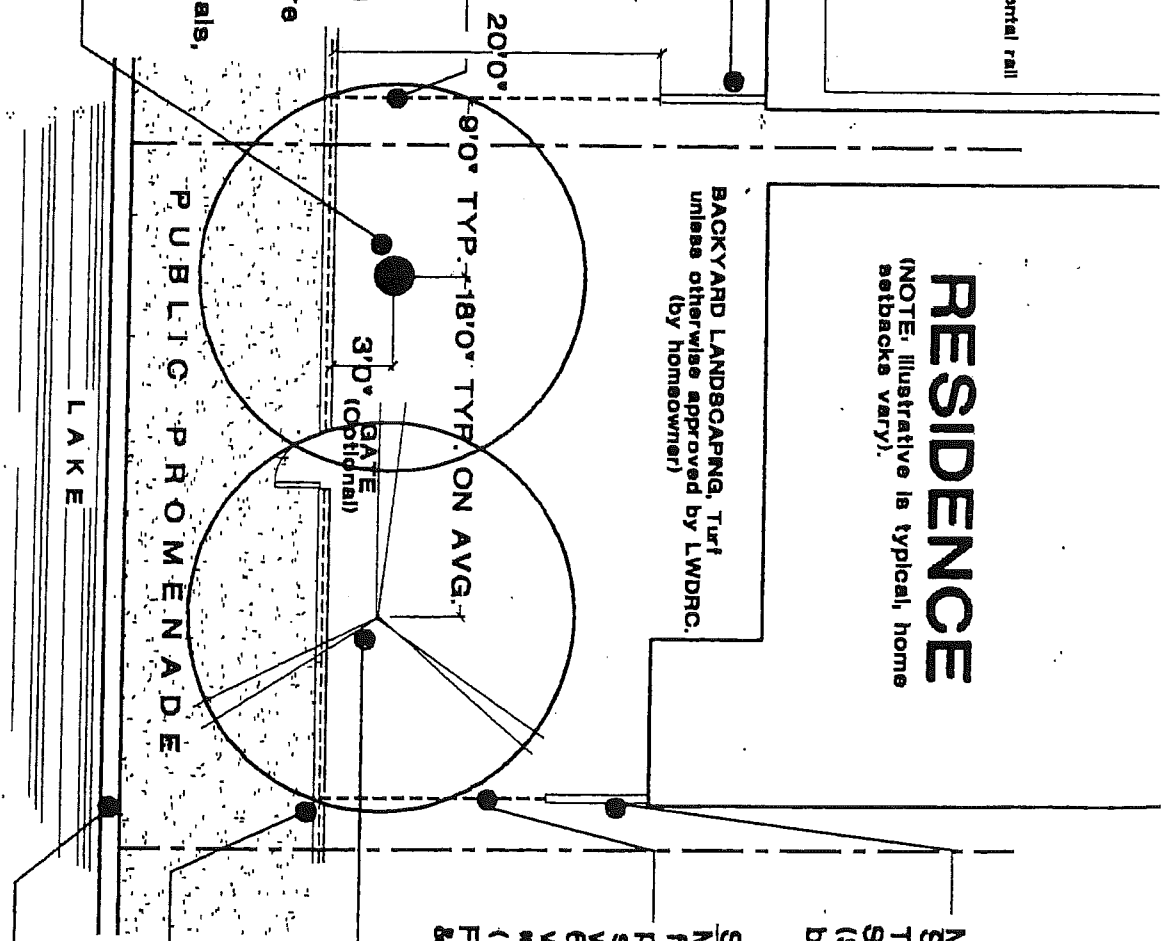
(NOTE: Illustrative is typical, home setbacks vary).

MAXIMUM 6'0" FENCE
SIDE YARD
 To be provided by builder.
 Solid, stain grade, wood.
 (See SIDE YARD FENCE notes below).

SIDE YARD FENCE
 Maximum 3'0" post & lattice for first 20'0" from fence. Beyond 20'0" setback, fence may transition with vertical rail to maximum 6'0" height solid wood fence with top rail. Stain Kelly Moore #1240 P40-3 Seafoam Green. (See elevation above).
 Fence design, location, materials, & color may not be altered.

PROMENADE TREE
 (Plant one, 15 Gallon minimum, with root barrier, 3'0" from fence.)
 Pistacia chinensis
 Chinese Pistache

BACKYARD LANDSCAPING, Turf
 unless otherwise approved by LWDRG. (by homeowner)



MAXIMUM 6'0" FENCE
SIDE YARD
 To be provided by builder.
 Solid, stain grade, wood.
 (See SIDE YARD FENCE notes below).

SIDE YARD FENCE
 Maximum 3'0" post & lattice for first 20'0" from fence. Beyond 20'0" setback, fence may transition with vertical rail to maximum 6'0" height solid wood fence with top rail. Stain Kelly Moore #1240 P40-3 Seafoam Green. (See elevation upper left).
 Fence design, location, materials & color may not be altered.

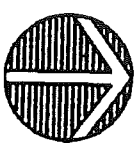
ACCENT TREE
 Plant one, 15 Gallon minimum with root barrier, 3'0" from fence.
 Prunus c. 'Krauter Vesuvius' Flowering Plum
5'6" FENCE & PROMENADE
 3'0" post & cable on 2'6" high wooden retaining wall. Post construction by bulkhead and placed to allow optional installation of gate.

BULKHEAD

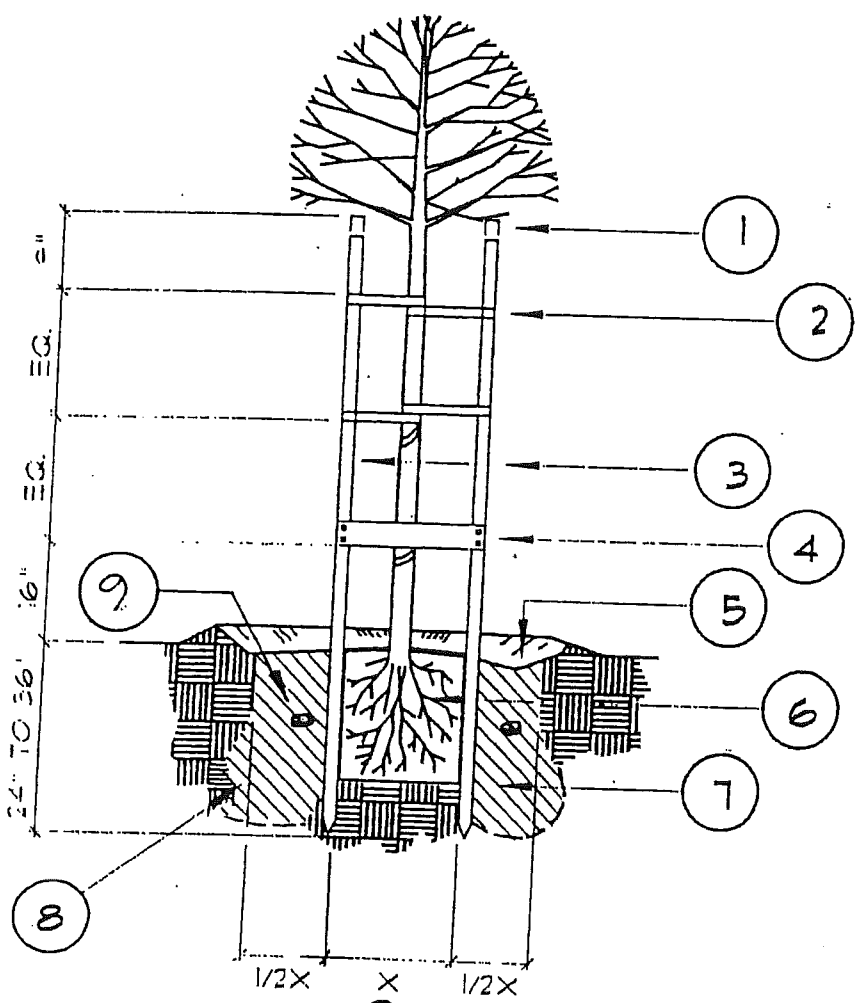
LakeFront Unit 25

Minimum Landscape Requirements

Promenade Lot:



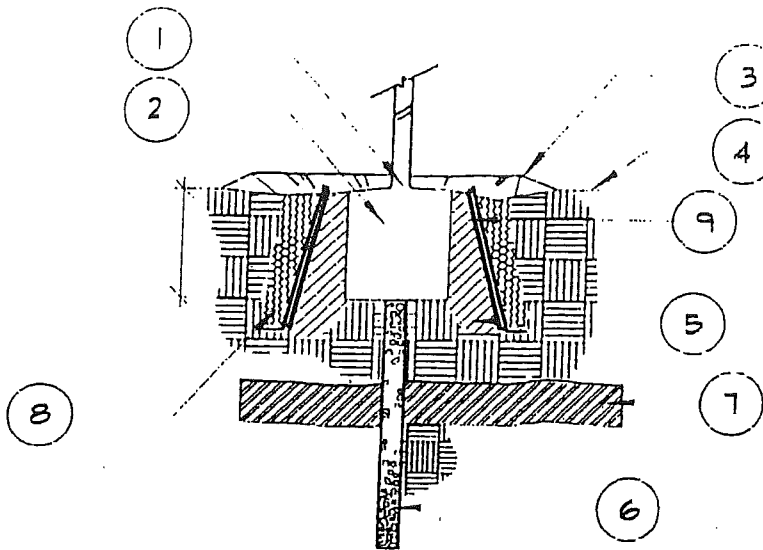
5. TYPICAL PLANTING DETAILS



1. CUT OFF ENDS DAMAGED BY DRIVING
2. TWO (2) "GROW STRAIT" CORDED RUBBER TREE STRAPS (WITHOUT WIRE) NAILED TO STAKES. LENGTH AS REQUIRED SO STAKE IS NOT DRIVEN INTO TREE ROOT BALL. AVAILABLE AT TECH, (916) 369-2891.
3. TWO (2) 2" DIA. X 8' LONG LODGEPOLE STAKES. DO NOT DRIVE STAKE INTO ROOT BALL AND AVOID CONTACT WITH BRANCHES WHEREVER POSSIBLE.
4. 1 X 4" REDWOOD CROSSTIE. NAIL TO STAKES.
5. CONTINUOUS WATERING BASIN.
6. ROOT BALL
7. BACKFILL MIX - SEE DRAWINGS OR SPECS.
8. NATIVE SOIL.
9. FERTILIZER TABS. SEE SPEC'S.



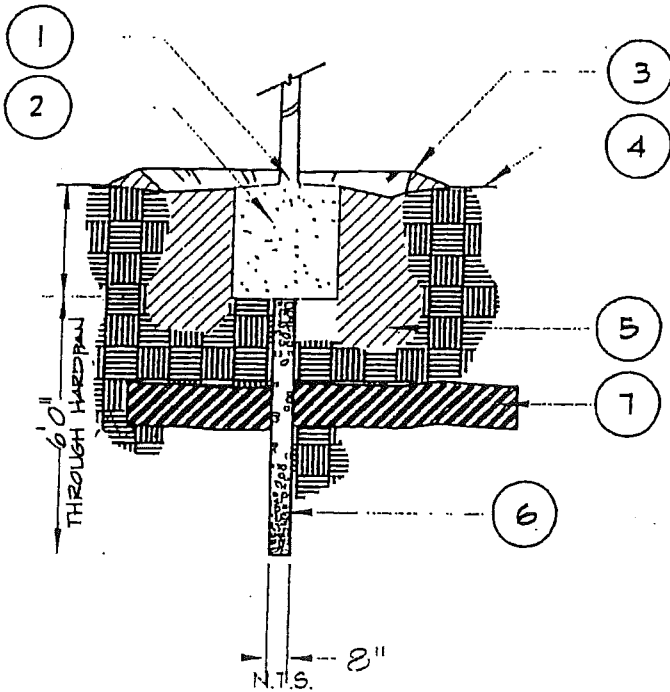
TREE PLANTING/STAKING
NOT TO SCALE



1. PLANT CROWN TO BE AT OR ABOVE FINISHED GRADE - ALLOW FOR SETTLEMENT.
2. ROOTBALL
3. 3" HIGH BASIN (SEE SPECS)
4. FINISHED GRADE
5. BACKFILL MIX SEE PLANTING DETAIL.
6. DEEP WELL FILLED WITH AGGREGATE, SEE DEEFWELL DETAIL.
7. HARDPAN LAYER. ILLUSTRATIVE ONLY.
8. 3/4" TO 1 1/2" GRAVEL BACKFILL.
9. ROOT BARRIER, SIZE ROOT BARRIER PER MANUF. SPEC'S. PLACE BARRIER 1/2" ABOVE FINISH GRADE. RIBS TO ORIENTED AGAINST ROOTBALL ON ALL PANEL TYPE BARRIERS.

TREE ROOT BARRIER

NOT TO SCALE



1. PLANT CROWN TO BE AT OR ABOVE FINISHED GRADE - ALLOW FOR SETTLEMENT.
2. ROOTBALL
3. 3" HIGH BASIN (SEE SPECS)
4. FINISHED GRADE
5. BACKFILL MIX SEE PLANTING DETAIL.
6. DEEP WELL FILLED WITH 1/2" CRUSHED AGGREGATE
7. HARDPAN LAYER. ILLUSTRATIVE ONLY.

TYPICAL DEEP WELL DETAIL

SCALE: 1/2" = 1" - 0"